

**PUBLIC HEARING DRAFT**

# Building a Better Norfolk

a zoning ordinance  
for the 21st century



## Zoning Ordinance

September 2017

**CLARION**

In Association with:

Renaissance Planning Group  
Herd Planning & Design LTD  
Greehan, Taves, Pandak & Stoner  
The Miles Agency





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# Article 3: Zoning Districts

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# ARTICLE 3: ZONING DISTRICTS

## 3.1 GENERAL PROVISIONS

### 3.1.1. COMPLIANCE WITH ZONING DISTRICT STANDARDS

Land in the city shall not be developed except in accordance with the zoning regulations of this article and all other regulations of this Ordinance.

### 3.1.2. ESTABLISHMENT OF ZONING DISTRICTS

This Ordinance establishes the base, planned development, and overlay zoning districts, as well as historic designations (see Table 3.1.2, Establishment of Zoning Districts). The boundaries of each of the zoning districts are identified on the Official Zoning Map.

TABLE 3.1.2: ESTABLISHMENT OF ZONING DISTRICTS	
BASE DISTRICTS	
RESIDENTIAL DISTRICTS	
SF-2:	Single Family 2
SF-4:	Single Family 4
SF-6:	Single Family 6
SF-10:	Single Family 10
SF-T:	Single Family - Traditional
R-C:	Residential - Coastal
MF-NS:	Multi-Family - Neighborhood-Scale
MF-AC:	Multi-Family - Apartment Complex
MF-HR:	Multi-Family - High Rise
COMMERCIAL DISTRICTS	
C-N:	Neighborhood Commercial
C-C:	Community Commercial
C-R:	Regional Commercial
O:	Office
BC-O:	Business and Commerce Park - Office
BC-I:	Business and Commerce Park - Industrial
DOWNTOWN DISTRICTS	
D-W:	Downtown - Waterfront
D-BC:	Downtown - Business Center
D-MU:	Downtown - Mixed-Use
D-AD:	Downtown - Arts and Design
D-FN:	Downtown - Fort Norfolk
INDUSTRIAL DISTRICTS	
I-L:	Industrial - Light
I-G:	Industrial - General

## Article 3: Zoning Districts

### 3.1 General Provisions

#### 3.1.2 Establishment of Zoning Districts

TABLE 3.1.2: ESTABLISHMENT OF ZONING DISTRICTS	
I-W:	Industrial - Waterfront
I-DW:	Industrial - Deep Water
HISTORIC AND CULTURAL CONSERVATION DISTRICTS	
HC-G1:	Ghent Historic and Cultural Conservation
HC-G2:	Ghent Historic and Cultural Conservation
HC-G3:	Ghent Historic and Cultural Conservation
HC-WF1:	West Freemason Historic and Cultural Conservation
HC-WF2:	West Freemason Historic and Cultural Conservation
HC-EF:	East Freemason Historic and Cultural Conservation
SPECIAL PURPOSE DISTRICTS	
IN:	Institutional
IN-C:	Institutional - Campus
A:	Airport
OSP:	Open Space and Preservation
RESOURCE:	Resource Conservation
MI:	Military Installation
UV:	University Village
EBH:	East Beach Harbor
TOD:	Transit-Oriented Development
G-I:	Granby/Monticello Corridor Mixed-Use
PLANNED DEVELOPMENT DISTRICTS	
PD:	Planned Development
OVERLAY DISTRICTS	
ASO/AICUZ:	Airport Safety, Air Installation Compatibility Use Zone, and Noise Zone Overlays
CBPA-O:	Chesapeake Bay Preservation Area Overlay
FPCH-O:	Flood Plain / Coastal Hazard Overlay
HO:	Historic Overlay
HO-Downtown:	Downtown Historic Overlay
PCO:	Pedestrian Commercial Overlay
PCO-Colley:	Pedestrian Commercial Overlay - Colley Avenue
PCO-21st Street:	Pedestrian Commercial Overlay - 21st Street
PCO-Riverview:	Pedestrian Commercial Overlay - Riverview
PCO-35th Street:	Pedestrian Commercial Overlay - 35th Street
PCO-Lafayette:	Pedestrian Commercial Overlay - Lafayette Boulevard
NRO:	Neighborhood Resilience Overlay
CRO:	Coastal Resilience Overlay
URO:	Upland Resilience Overlay
HL:	Historic Landmark

### **3.1.3. ORGANIZATION OF ZONING DISTRICTS**

#### **A. BASE ZONING DISTRICTS**

- (1)** Base zoning districts include Residential, Commercial, Downtown, Industrial, Historic and Cultural Conservation, and Special Purpose districts, as shown in Table 3.1.2: Establishment of Zoning Districts. Base districts are established initially by the city's adoption of this Ordinance, and subsequently by a Zoning Map Amendment (see Section 2.4.3, Zoning Map Amendment).
- (2)** The general intent and standards of each base zoning district is set forth in Section 3.2, Residential Base Zoning Districts, through Section 3.7, Special Purpose Districts.
- (3)** For each base zoning district, the regulations set out the district's purpose, the intensity and dimensional standards applicable in the district, and reference other Ordinance standards generally applicable to development in the district. Each base zoning district also includes photographs depicting a building form typical in the district and an illustration depicting how the district's dimensional standards apply to lots and typical building forms. Graphics are included for illustrative purposes and show the application of the dimensional and intensity standards to some of the uses allowed in the district. At the end of each section setting out the Residential, Commercial, Industrial, and Historical and Cultural Conservation districts, the use regulations for each district is established in a Principal and Accessory Use table.

#### **B. PLANNED DEVELOPMENT DISTRICTS**

- (1)** The general purpose of planned development districts is set forth in Section 3.8.2, General Provisions for Planned Development Zoning Districts, in addition to the standards applicable to the proposed planned development district.
- (2)** Planned development districts are adopted by City Council as zoning map amendments in accordance with Section 2.4.5, Planned Development District. The name and location of the specific PD District is shown on the Official Zoning Map and recorded, as appropriate.
- (3)** Planned development districts are subject to an approved PD master plan and PD terms and conditions document, which establishes a plan for development parameters, and specific rules for individual PD Districts. As provided in Section 2.4.5, Planned Development District, the PD master plan and PD terms and conditions document is included with the adopting ordinance, and recorded as appropriate.

## Article 3: Zoning Districts

### 3.1 General Provisions

#### 3.1.3 Organization of Zoning Districts

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- (4) Lands may be reclassified from a base district to a planned development district in accordance with Section 2.4.5, Planned Development District. Generally, PD Districts require unified control of a parcel and allow for greater flexibility and a wider range of allowed uses than traditional base zoning districts allow, in return for innovative design and higher quality development. It is the intent of this Ordinance that PD Districts should be used sparingly.

## C. OVERLAY DISTRICTS

- (1) Overlay zoning districts (see Table 3.1.2: Establishment of Zoning Districts), are established initially by the city's adoption of this Ordinance, and subsequently by approval of a zoning map amendment (see Section 2.4.3, Zoning Map Amendment).
- (2) Standards governing development in an overlay zoning district shall apply in addition to, or instead of, the standards governing development in the underlying base zoning district or PD District, and may also provide a more flexible alternative to base zoning district standards. If the regulations governing an overlay district expressly conflict with those governing an underlying base zoning district, the regulations governing the overlay district shall control. If land is classified into multiple overlay districts and the regulations governing one overlay district expressly conflict with those governing another overlay district, the more restrictive regulations shall control.

## D. CHARACTER DISTRICTS

### (1) Purpose

The comprehensive plan recognizes four character districts in the city with district development patterns: Downtown, Traditional, Suburban, and Coastal. The boundaries of the character districts are shown on the Official Zoning Map. The base zoning districts establish standards for the different character districts to recognize and support the city's predominant development patterns.

### (2) Character Districts

The distinct development patterns of the four character districts are described below. Separate standards for character districts, and building form are provided for individual zoning districts, as appropriate, in order to achieve building form, massing, and scale that is supportive of the established development pattern for the character district.

#### (a) Downtown

The Downtown character district includes Norfolk's downtown. It is a walkable area and accommodates a broad range of commercial, office, and residential uses, at the highest intensities in the city. There is



limited on-site parking, and plazas and civic spaces are preferred over traditional open space. Transit accessibility is important.

**(b) Traditional**

The Traditional character district generally includes lands developed in the early 20th century, with gridded streets, smaller lots, sidewalks, and a variety of uses located in proximity to one another. It is a walkable area that is primarily residential in character, with some moderate and small-scale commercial development in fairly close proximity to residential uses.

**(c) Suburban**

The Suburban character district generally includes lands developed after WWII, with larger lots, greater separation of land uses, gridded and curvilinear street layouts, and limited sidewalks and common open space. The automobile dominates the landscape.

**(d) Coastal**

The Coastal character district includes lands in the vicinity of Ocean View Avenue, which were primarily developed after WWII. The area is linear in nature, and automobile-oriented. It is broken up by a repeating pattern of north-south streets leading to beach accesses, and developed with an eclectic mix of housing types interspersed with neighborhood-scale commercial uses. Lots are generally smaller, and there is limited provision of on-street parking, common open space, and sidewalks.

### **3.1.4. ORGANIZATION OF ZONING DISTRICT USE TABLES**

For each grouping of zoning districts (e.g., residential base zoning districts or overlay districts) is a use table. The purpose of each use table is to authorize the establishment and continuation of land uses that are allowed on a parcel in a particular base zoning district. The use tables identify the zoning districts in which different uses are allowed, identify what type of permit or review is required to establish them, and provide reference to any special performance standards applicable to particular uses.

The use tables also establish a hierarchy for organizing uses that reflects functional relationships among the various uses and that makes it easier to determine whether a particular proposed use is allowable as a use in a particular zoning district.

#### **A. STRUCTURE OF USE TABLES**

**(1) Organization and Classification of Uses**

The use tables organize allowable uses with the hierarchy of use classifications described in this section. The tables show whether each use is permitted or prohibited within the various Residential zoning districts, as well as the type of permit or development approval by which the use may be allowed. The table further references any performance standards applicable

## Article 3: Zoning Districts

### 3.1 General Provisions

#### 3.1.4 Organization of Zoning District Use Tables

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to specific uses regardless of the Residential zoning district in which the use is allowed or the review procedure by which the use is approved, unless expressly stated to the contrary.

#### **(a) Use Classifications**

Use Classifications are very broad and general (e.g., Conservation, Open Space, and Recreation Uses or Residential Uses).

#### **(b) Use Categories**

Use Categories represent major subgroups of the use classifications that have common functional, product, or physical characteristics, such as the type and amount of activity, type of occupants or users/customers, or operational characteristics. For example, the Residential classification is divided into the Household Living and Group Living categories. Since these use types have common characteristics, performance standards may be applied to an entire category as a whole.

#### **(c) Use Types**

Use Types (“uses”) identify specific principal land uses whose characteristics are considered to fall within the various use categories. For example, dormitories, nursing homes, and rooming houses are use types within the Group Living Use category of the Residential Uses use classification.

### **(2) Principal, Accessory, and Temporary Uses**

The use tables establish seven use classifications. Five of the seven classifications are principal uses while one classification represents accessory uses and one establishes temporary uses or structures. The use classifications are hereby organized per the following:

#### **(a) Principal Uses**

A principal use is the primary or predominant purpose to which a parcel of land or structure is devoted. The use types within the following use classifications are hereby established as principal uses:

- (i)** Conservation and open space uses;
- (ii)** Residential uses;
- (iii)** Public, civic, and institutional uses;
- (iv)** Commercial uses; and
- (v)** Industrial uses.

#### **(b) Accessory Uses**

An accessory use is a use that is incidental to and customarily associated with a principal use, and, unless otherwise specifically provided, that is located on the same premises. The use types within the accessory uses classification are hereby established as accessory uses.

**(c) Temporary Uses and Structures**

A temporary use or structure is a use or structure in place on a parcel of land or in a structure for a limited duration. The use types within the temporary uses and structures classification are hereby established as temporary uses and structures.

**B. DESIGNATION OF ALLOWED USES**

**(1) Designation of Use Types**

In the use tables below, the following abbreviations are used to designate whether and how a use is allowed in a particular zoning district:

P A “P” under a zoning district column indicates that the use is an allowable use in the district, subject to any referenced performance standards and all other applicable regulations of this Ordinance. A P under an overlay zoning district column indicates that, irrespective of whether the use is prohibited in the underlying base district, the use is allowable as a permitted use in the overlay zoning district.

C A “C” under a zoning district column indicates that the use is an allowable use in the zoning district only on approval of a Conditional Use Permit in accordance with Section 2.4.6, Conditional Use Permit, and subject to any referenced performance standards and all other applicable regulations of this Ordinance.

P/C A “P/C” under a zoning district column indicates that the use is an allowable use in the district but that approval of a Conditional Use Permit in accordance with Section 2.4.6, Conditional Use Permit may be required, as determined by the applicable performance standards.

[blank] A blank cell under a zoning district column indicates that the use is prohibited as a principal use or conditional use in the zoning district. A blank cell under an overlay zoning district column indicates that, irrespective of whether it is allowed in the underlying base district, the use is prohibited.

**(2) Reference to Use Definitions and Performance Standards**

Each use category and use type is defined in in Article 4: Performance Standards. A particular use category or use type may also be subject to additional performance standards that are specific to the particular use or category. The reference to the definition of each use and to the applicable performance standards is noted in the last column of the use table.

**(3) Multiple Principal Uses**

A development may include a single principal use with one or more accessory uses that are customarily incidental and subordinate to the principal use (e.g., home occupation as accessory to a dwelling). A development may also include multiple principal uses, none of which is necessarily customarily incidental or subordinate to another principal use (e.g., a religious institution combined with a school). A development with multiple principal uses shall include only those principal uses allowed in the use table in the applicable zoning district, and each principal use shall be subject to any performance standards applicable to each use.

## 3.2 RESIDENTIAL BASE ZONING DISTRICTS

### 3.2.1. GENERAL PURPOSES OF RESIDENTIAL BASE ZONING DISTRICTS

The purpose and intent of Residential base districts are to:

- A.** Provide a range of housing choices to meet the needs of Norfolk's citizens;
- B.** Preserve and maintain the city's neighborhoods as safe and convenient places to live;
- C.** Promote the harmonious development of residential communities;
- D.** Ensure compatible infill development; and
- E.** Help implement the housing policies in the comprehensive plan and other plans adopted by City Council.

### 3.2.2. ESTABLISHED RESIDENTIAL BASE ZONING DISTRICTS

The residential base zoning districts established by this Ordinance are identified in Table 3.2.2, Established Residential Base Zoning Districts.

Table 3.2.2: Established Residential Base Zoning Districts	
SF-2:	Single Family 2
SF-4:	Single Family 4
SF-6:	Single Family 6
SF-10:	Single Family 10
SF-T:	Single Family - Traditional
R-C:	Residential - Coastal
MF-NS:	Multi-Family - Neighborhood-Scale
MF-AC:	Multi-Family - Apartment Complex
MF-HR:	Multi-Family - High Rise

### 3.2.3. SF-2: SINGLE FAMILY 2

#### A. PURPOSE

The purpose of the Single Family 2 (SF-2) district is to provide lands that accommodate primarily low-density, single family detached dwellings on large lots. It also accommodates day cares, limited group living, government offices, parks and recreation centers, and minor utility facilities. District regulations discourage development that substantially interferes with the quiet residential nature of the district. It is generally intended to be located in the suburban character district.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts	
	Single Family	All Other Uses
Lot Area, min. (sf.)	25,000 [1]	25,000 [1]
Lot Width, min. (ft.)	100 [2]	100 [2]
Front Yard Setback, min. (ft.)	25	25
Side Yard Setback, min. (ft.)	5, with a total on both sides of 20	10
Corner Side Yard Setback, min. (ft.)	25	25
Rear Yard Setback, min. (ft.)	25	25
Building Height, max. (ft.)	35	35
Max. Impervious Cover (% lot area)	50	50

**Notes:** sf. = square feet; ft. = feet

[1] Minimum lot area may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 22,500 sf.

[2] Minimum lot width may be reduced to the average lot width of properties on the same block face, but the minimum shall not be less than 90 ft.

### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities



### 3.2.4. SF-4: SINGLE FAMILY 4

#### A. PURPOSE

The purpose of the Single Family 4 (SF-4) district is to provide lands that accommodate primarily low-density, single family detached dwellings on moderate-sized lots. The district also accommodates day cares, limited group living, government offices, parks and recreation centers, and minor utility facilities. District regulations discourage development that substantially interferes with the quiet residential nature of the district. It is generally intended to be located in the suburban character district.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts	
	Single Family	All Other Uses
Lot Area, min. (sf.)	15,000 [1]	15,000 [1]
Lot Width, min. (ft.)	100 [2]	100 [2]
Front Yard Setback, min. (ft.)	25	25
Side Yard Setback, min. (ft.)	5, with a total on both sides of 20	10
Corner Side Yard Setback, min. (ft.)	25	25
Rear Yard Setback, min. (ft.)	25	25
Building Height, max. (ft.)	35	35
Max. Impervious Cover (% lot area)	55	55

**Notes:** sf. = square feet; ft. = feet

[1] Minimum lot area may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 13,500 sf.

[2] Minimum lot width may be reduced to the average lot width of properties on the same block face, but the minimum shall not be less than 90 ft.



### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### 3.2.5. SF-6: SINGLE FAMILY 6

#### A. PURPOSE

The purpose of the Single Family 6 (SF-6) district is to provide lands that accommodate primarily low-density, single family detached dwellings on relatively small lots. The district also accommodates day cares, limited group living, government offices, parks and recreation centers, and minor utility facilities. District regulations discourage development that substantially interferes with the quiet residential nature of the district. It is generally intended to be located in the suburban character district.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts	
	Single Family	All Other Uses
Lot Area, min. (sf.)	7,500 [1]	7,500 [1]
Lot Width, min. (ft.)	75 [2]	75 [2]
Front Yard Setback, min. (ft.)	25 [3]	25 [3]
Side Yard Setback, min. (ft.)	5 [4]	10
Corner Side Yard Setback, min. (ft.)	10 [4]	10
Rear Yard Setback, min. (ft.)	25	25
Building Height, max. (ft.)	35	35
Max. Impervious Cover (% lot area)	60	60

**Notes:** sf. = square feet; ft. = feet

- [1] Minimum lot area may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 6,000 sf.
- [2] Minimum lot width may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 60 ft.
- [3] Front yard setback may be reduced to the average setback of properties on the same block face, if less than 25 ft.
- [4] Side and corner side yard setbacks shall be 3 ft. for lots of 40 ft. and less in width.

### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### 3.2.6. SF-10: SINGLE FAMILY 10

#### A. PURPOSE

The purpose of the Single Family 10 (SF-10) district is to provide lands that accommodate primarily residential single family detached dwellings at higher densities. The district also accommodates day cares, limited group living, government offices, parks and recreation centers, and minor utility facilities. District regulations discourage development that substantially interferes with the quiet residential nature of the district. It is generally intended to be located in the suburban character district.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts	
	Single Family	All Other Uses
Lot Area, min. (sf.)	5,000 [1]	5,000 [1]
Lot Width, min. (ft.)	50 [2]	50 [2]
Front Yard Setback (ft.)	Within 3 ft. of the average on the block face or 18-25 if no pattern exists	Within 3 ft. of the average on the block face or 18-25 if no pattern exists
Side Yard Setback, min. (ft.)	3, with a total of both sides of 10 [3]	10
Corner Side Yard Setback, min. (ft.)	10 [3]	10
Rear Yard Setback, min. (ft.)	25	25
Building Height, max. (ft.)	35	35
Maximum Impervious Cover (% lot area)	60	60

**Notes: sf. = square feet; ft. = feet**

[1] Minimum lot area may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 4,000 sf.

[2] Minimum lot width may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 40 ft.

[3] Side and corner side yard setbacks shall be 3 ft. for lots of 40 ft. and less in width.

### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities



### 3.2.7. SF-T: SINGLE FAMILY - TRADITIONAL

#### A. PURPOSE

The purpose of the Single Family - Traditional (SF-T) district is to accommodate development of single-family detached dwellings at higher densities, and to support walkable development patterns in the Traditional Character District. The district also accommodates day cares, limited group living, government offices, parks and recreation centers, and minor utility facilities. District regulations discourage development that substantially interferes with the quiet residential nature of the district.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	Traditional Character District	
	Single Family	All Other Uses
Lot Area, min. (sf.)	5,000 [1]	5,000 [1]
Lot Width, min. (ft.)	50 [2]	50 [2]
Front Yard Setback (ft.)	Within 3 ft. of the average on the block face or 9-16 if no pattern exists	Within 3 ft. of the average on the block face or 9-16 if no pattern exists
Side Yard Setback, min. (ft.)	3, with a total on both sides of 10 [3]	10
Corner Side Yard Setback, min. (ft.)	5 [3]	10
Rear Yard Setback, min. (ft.)	25	25
Building Height, max. (ft.)	35	35
Maximum Impervious Cover (% lot area)	65	65

Notes: sf. = square feet; ft. = feet

[1] Minimum lot area may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 4,000 sf.

[2] Minimum lot width may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 40 ft.

[3] Side and corner side yard setbacks shall be 3 ft. for lots of 40 ft. and less in width.

### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### 3.2.8. R-C: RESIDENTIAL - COASTAL

#### A. PURPOSE

The purpose of the Residential - Coastal (R-C) district is to provide for a mixture of residential uses that reflect the eclectic housing stock in the Coastal Character District. This district also allows for variations of building types that gain performance bonuses for meeting certain form and development standards.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Base Standards [1]	Coastal Character District				
	Single-Family [1]	Single-Family Semi-Detached [1]	Two-Family [1]	Other Residential Uses	All Other Uses
Lot Area, min. (sf.)	5,000	7,500 [1]	7,500	See Section 3.2.8.D, Alternative Intensity and Dimensional Standards	10,000
Lot Area, min. (sf. per unit)	5,000	3,000	N/A		N/A
Lot Width, min. (ft.)	50 [1]	50	50		100
Front Yard Setback (ft.)	20 [1] [2]	20 [1]	20 [1]		20
Side Yard Setback, min. (ft.)	5 [1]	5 [1]	5 [1]		10
Corner Side Yard Setback, min. (ft.)	10	10 [1]	10 [1]		10
Rear Yard Setback, min. (ft.)	20	20 [1]	20 [1]		20
Building Height, max.	3 stories [3]				

**Notes:** sf. = square feet; ft. = feet

[1] Alternative intensity and dimensional standards can be found in Section 3.2.8.D, Alternative Intensity and Dimensional Standards

[2] Attached garages where garage doors face Ocean View Avenue shall be setback 40 feet.

[3] First floors which are limited to parking, storage, and building access no larger than 100 square feet shall not be considered a story towards the building height.

[4] Usable open space standard does not apply to single-family detached dwellings and townhouse.



## **C. DISTRICT-SPECIFIC DEVELOPMENT STANDARDS**

Except for single-family detached and townhouse, 2.5 parking spaces are required per dwelling unit unless otherwise noted within the alternative design approval process.

## **D. ALTERNATIVE INTENSITY AND DIMENSIONAL STANDARDS**

The following uses shall be permitted to obtain greater intensity and height and reductions in dimensional, parking, and open space standards subject to the development meeting the additional standards listed in each section.

### **(1) Approval Process**

#### **(a) Zoning Certificate**

Development that meets the development and form standards as listed in this section shall obtain a Zoning Certificate per the provisions of Section 2.4.12, Zoning Certificate.

#### **(b) Conditional Use Permit**

Development that does not meet the development and form standards as listed in this section may request a Conditional Use Permit per the provisions of Section 2.4.6, Conditional Use Permit, for the proposed development to obtain greater intensity and height, and for reductions in dimensional, parking and open space standards expressly permitted in this section subject to the ZA determining that the development meets the intent of the General Design Criteria outlined in subsection (2) below.

### **(2) General Design Criteria**

#### **(a) Coastal Pattern Book**

Developments using the alternative intensity and dimensional standards shall have designs that generally conform to the standards of the Coastal Pattern Book. Designs shall provide 10 General Design Standard points as quantified in the Coastal Pattern Book.

#### **(b) Architectural Review Board**

Plans that do not meet the full requirements of the General Design Standard points may be submitted to the ARB per the provisions of Section 2.1.5, Architectural Review Board, for consistency review against the Coastal Pattern Book. If the ARB finds that the development consistent with the Coastal Pattern Book, the proposed plans shall be deemed compliant with the General Design standards set forth in this section.

### **(3) Single-Family Detached Dwellings**

#### **(a) Alternative Dimensional Standards**

The alternative dimensional standards listed in Table 3.2.8(A), Alternative Dimensional Standards – Single-Family Detached Dwellings, below are permitted subject to the granting of a Zoning Certificate that approves the proposed residential dwelling conforms to the Coastal Pattern Book:

<b>TABLE 3.2.8(A): ALTERNATIVE DIMENSIONAL STANDARDS – SINGLE-FAMILY DETACHED DWELLINGS</b>			
Lot Area, min. (sf.)		5,000	
Lot Area, min. (sf. per unit)		5,000	
Lot Width, min. (ft.)		37.5	
Front Yard Setback (ft.)	Not Adjacent to Ocean View Avenue	Average of the adjacent properties, +/- 2	
	Adjacent to Ocean View Avenue	Min. 10	Max. 20
Side Yard Setback, min. (ft.)		3	
Corner Yard Setback, min. (ft.)		3	
Rear Yard Setback, min. (ft.)		20	
Building Height, max. (stories)		4	
Maximum Impervious Coverage (% lot area)		55	

**(b) Alternative Development and Form Standards**

The following development and form standards are required to utilize the alternative dimensional standards listed in Table 3.2.8(A), Alternative Dimensional Standards – Single-Family Detached Dwellings, above:

- (i) Buildings shall have porches with a minimum size of 48 square feet and minimum dimension of 6 feet. Multi-story porches are encouraged;
- (ii) Parking and driveway access shall not be located between the front façade and the front property line;
- (iii) For properties fronting on Ocean View Avenue, attached garages with doors that face Ocean View Avenue may be permitted if setback a minimum of 40 feet from the front property line;
- (iv) For properties not fronting on Ocean View Avenue, attached garages with doors that face the street may be permitted if setback a minimum of 20 feet from the front façade;
- (v) First floor areas may be used as garages, limited access and limited storage;
- (vi) Façades facing the street shall have fenestration for each story that are balanced with the building design and exterior elevation; and

- (vii) In addition to the landscaping requirements of Article 5, one additional tree, of any size, shall be planted onsite per every 25 feet of lot frontage.

*Figure 3.2.8(A): Examples of Single-Family Detached Dwellings Using Alternative Standards*



**(4) Detached Accessory Dwelling Units (Carriage Houses)**

**(a) Alternative Dimensional Standards**

For detached accessory dwelling units, commonly known as carriage houses, the alternative dimensional standards listed in Table 3.2.8(B), Alternative Dimensional Standards – Detached Accessory Dwelling Units, below are permitted subject to the granting of a Zoning Certificate that approves the proposed accessory dwelling unit conforms to the Coastal Pattern Book:

<b>TABLE 3.2.8(B): ALTERNATIVE DIMENSIONAL STANDARDS – DETACHED ACCESSORY DWELLING UNITS</b>	
Lot Area, min. (sf.)	5,000
Lot Area, min. (sf. per unit)	5,000
Lot Width, min. (ft.)	37.5
Front Yard Setback (ft.)	10
Side Yard Setback, min. (ft.)	3
Corner Yard Setback, min. (ft.)	3
Rear Yard Setback, min. (ft.)	5
Building Height, max. (ft.)	25

**(b) Alternative Development and Form Standards**

The following development and form standards are required to utilize the alternative dimensional standards listed in Table 3.2.8(B),

Alternative Dimensional Standards – Detached Accessory Dwelling Units, above:

- (i) The proposed accessory dwelling unit shall be no larger than 600 square feet and may contain a garage in the first story for both the principal and accessory dwellings;
- (ii) Garage doors that face Ocean View Avenue shall be setback a minimum of 40 feet from the front property line;
- (iii) First floor areas may be used as garages, limited access and limited storage;
- (iv) All façades shall have balanced fenestration for each that are balanced with the building design and exterior elevation;
- (v) ADUs using this process shall be considered accessory to the single-family detached development and shall not be subject to the requirements of major site plan review;
- (vi) One additional unobstructed parking space shall be required for the ADU; and
- (vii) Required parking for single-family detached residences with ADUs shall be permitted to be located within garages and driveways that meet the minimum dimensional standard as set forth in Article 5, Development Standards.

*Figure 3.2.8(B): Examples of Detached Accessory Dwellings Using Alternative Standards*



## **(5) Single-Family Semi-Detached Dwellings**

### **(a) Alternative Dimensional Standards**

The alternative dimensional standards listed in Table 3.2.8(C), Alternative Dimensional Standards – Single-Family Semi-Detached Dwellings, below are permitted subject to the granting of a Zoning Certificate that approves the proposed residential development conforms to the Coastal Pattern Book:

TABLE 3.2.8(C): ALTERNATIVE DIMENSIONAL STANDARDS – SINGLE-FAMILY SEMI-DETACHED DWELLINGS			
Lot Area, min. (sf.)		5,000	
Lot Area, min. (sf. per unit)		2,000	
Lot Width, min. (ft.)		50	
Front Yard Setback (ft.)	Not Adjacent to Ocean View Avenue	Average of the adjacent properties, +/- 3	
	Not adjacent to Ocean View Avenue and with no other residential structures sited along the block face	Min. 8	Max. 15
	Adjacent to Ocean View Avenue	Min. 10	Max. 20
Side Yard Setback, min. (ft.)		12 [1]	
Corner Yard Setback, min. (ft.)		3	
Rear Yard Setback, min. (ft.)		10	
Building Height, max. (stories)		4	
Usable Open Space (% lot area)		15	
Notes:			
[1] Side setback required for driveway location accessing rear parking area. Minimum setback is 3 ft.			

**(b) Alternative Development and Form Standards**

The following development and form standards are required to utilize the alternative dimensional standards listed in Table 3.2.8(C), Alternative Dimensional Standards – Single-Family Semi-Detached Dwellings, above:

- (i) The proposed building shall be a minimum of two stories;
- (ii) Buildings shall have porches with a minimum size of 48 square feet and minimum dimension of 6 feet. Multi-story porches are encouraged;
- (iii) One driveway shall be permitted for the development when accessed from a right of way. Two driveways may be permitted if accessed from an alley or a right of way with a dimension less than 30 feet;
- (iv) Driveways shall be no wider than 12 feet;
- (v) Semi-detached dwellings shall not have a front-loaded attached garage and no driveway or parking area shall be located in the area between the ground floor front façade of the principal building and the front property line;
- (vi) For properties fronting on Ocean View Avenue, detached garages may have doors that face Ocean View Avenue if setback a minimum of 40 feet;



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- (vii) Façades facing the street shall have fenestration for each that are balanced with the building design and exterior elevation; and
- (viii) Parking spaces shall meet the minimum dimensional standards as per Section 5.1, Parking, Loading, and Bicycle Standards, however may be located within garages and driveways that are not part of the common ingress and egress for the development. Stacked parking spaces may count towards meeting the parking requirement, however one parking space per dwelling unit shall be unobstructed.

*Figure 3.2.8(C): Example of Single-Family Semi-Detached Dwellings Using Alternative Standards*



## (6) Two-Family Dwellings

### (a) Alternative Dimensional Standards

The alternative dimensional standards listed in Table 3.2.8(D), Alternative Dimensional Standards – Two-Family Dwellings, below are permitted subject to the granting of a Zoning Certificate that approves the proposed residential development conforms to the Coastal Pattern Book:

<b>TABLE 3.2.8(D): ALTERNATIVE DIMENSIONAL STANDARDS – TWO-FAMILY DWELLINGS</b>			
Lot Area, min. (sf.)		5,000	
Lot Area, min. (sf. per unit)		2,000	
Lot Width, min. (ft.)		50	
Front Yard Setback (ft.)	Not Adjacent to Ocean View Avenue	Average of the adjacent properties, +/- 2	
	Not adjacent to Ocean View Avenue and with no other residential structures sited along the block face	Min. 8	Max. 15
	Adjacent to Ocean View Avenue	Min. 10	Max. 20
Side Yard Setback, min. (ft.)		3	
Corner Yard Setback, min. (ft.)		3	
Rear Yard Setback, min. (ft.)		10	
Building Height, max. (stories)		4	
Usable Open Space (% lot area)		15	

**(b) Alternative Development and Form Standards**

The following development and form standards are required to utilize the alternative dimensional standards listed in Table 3.2.8(D), Alternative Dimensional Standards – Two-Family Dwellings, above:

- (i) The proposed development may be designed as a detached two-family development. Each building shall demonstrate appropriate differences and shall comply with the General Design Standard points;
- (ii) The proposed building shall be a minimum of 2.5 stories;
- (iii) Buildings shall have porches that are a minimum of 48 square feet with a minimum dimension of 6 feet. Multi-story porches are encouraged;
- (iv) One driveway shall be permitted for the development at a minimum of 12 feet in width;
- (v) Attached garages may have doors face Ocean View Avenue provided they are setback a minimum of 40 feet from the right of way;
- (vi) First floor areas may be used as garages, limited access and limited storage;

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- (vii) All façades shall have fenestration that are balanced with the building design and exterior elevation;
- (viii) Parking areas shall be screened from view of the right of way; and
- (ix) Parking spaces shall meet the minimum dimensional standards as per Section 5.1, Parking, Loading, and Bicycle Standards, however may be located within garages and driveways that are not part of the common ingress and egress for the development. Stacked parking spaces may count towards meeting the parking requirement, however one parking space per dwelling unit must be unobstructed.

*Figure 3.2.8(D): Examples of Two-Family Dwellings Using Alternative Standards*



## (7) Townhouse Dwellings

### (a) Alternative Dimensional Standards

The alternative dimensional standards listed in Table 3.2.8(E), Alternative Dimensional Standards – Townhouse Dwellings, below are permitted subject to the granting of a Zoning Certificate that approves the proposed residential development conforms to the Coastal Pattern Book:



TABLE 3.2.8(E): ALTERNATIVE DIMENSIONAL STANDARDS – TOWNHOUSE DWELLINGS			
Lot Area, min. (sf.)		7,500	
Lot Area, min. (sf. per unit)		1,800	
Lot Width, min. (ft.)		18	
Front Yard Setback (ft.)	Not Adjacent to Ocean View Avenue	Average of the adjacent properties, +/- 3	
	Not adjacent to Ocean View Avenue and with no other residential structures sited along the block face	Min. 8	Max. 15
	Adjacent to Ocean View Avenue	Min. 10	Max. 20
Side Yard Setback, min. (ft.)		5 [1]	
Corner Yard Setback, min. (ft.)		10	
Rear Yard Setback, min. (ft.)		10	
Building Height, max. (ft.)		45	
Usable Open Space (% lot area)		15	
Notes:			
[1] Side setback for end units only.			

**(b) Alternative Development and Form Standards**

The following development and form standards are required to utilize the alternative dimensional standards listed in Table 3.2.8(E), Alternative Dimensional Standards – Townhouse Dwellings, above:

- (i) The proposed building shall be a minimum of two stories;
- (ii) Buildings shall have porches that are a minimum of 48 square feet with a minimum dimension of 6 feet. Multi-story porches are encouraged;
- (iii) One driveway shall be permitted for the development when accessed from a right of way. One driveway per dwelling unit may be permitted if accessed from an alley or a right of way with a dimension less than 30 feet;
- (iv) Driveways shall be no wider than 12 feet within the front setback, if directly accessing Ocean View Avenue;
- (v) Townhomes shall not have a front-loaded attached garage and no driveway or parking area shall be located in the area between the ground floor front façade of the principal building and the front property line;
- (vi) For properties fronting on Ocean View Avenue, detached garages shall not have doors face Ocean View Avenue unless they are

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setback a minimum of 40 feet from the front property line or are located so that the principal structure screens the doors from the public right-of-way;

- (vii) All façades shall have fenestration for each story that are balanced with the building design and exterior elevation; and
- (viii) Parking spaces shall meet the minimum dimensional standards as per Section 5.1, Parking, Loading, and Bicycle Standards, however may be located within garages and driveways that are not part of the common ingress and egress for the development. Stacked parking spaces may count towards meeting the parking requirement, however one parking space per dwelling unit shall be unobstructed.

*Figure 3.2.8(E): Examples of Townhouse Dwellings Using Alternative Standards*



#### (8) Multi-Family Dwellings

The purpose of the alternative standards set forth in this section is to allow for creative coastal designs that will maximize interactions with the beach and the water. Due to the proximity of the public facilities on the north side of Ocean View Avenue, it is appropriate to reduce open space to take advantage of the existing parks and beaches.

##### (a) Where Individual Units are Detached

###### (i) Alternative Dimensional Standards

The alternative dimensional standards listed in Table 3.2.8(F), Alternative Dimensional Standards – Multi-Family Buildings Where Individual Units are Detached, below are permitted subject to the granting of a Zoning Certificate that approves the proposed residential development conforms to the Coastal Pattern Book:

**TABLE 3.2.8(F): ALTERNATIVE DIMENSIONAL STANDARDS –  
MULTI-FAMILY DWELLINGS WHERE INDIVIDUAL UNITS ARE  
DETACHED**

Standard		North of Ocean View Avenue	South of Ocean View Avenue
Lot Area, min. (sf.)		5,000	7,500
Lot Area, min. (sf. per unit)		1,500 [1]	2,000 [1]
Lot Width, min. (ft.)		50	75
Front Yard Setback (ft.)		10	15
Side Yard Setback, min. (ft.)		3	
Corner Yard Setback, min. (ft.)		3	
Rear Yard Setback, min. (ft.)		10	
Building Height, max. (stories)	Min.	2	
	Max.	3	
Usable Open Space (% lot area)		15	20
<b>Notes:</b>			
[1] 2,900 sf. per dwelling unit for lots located within the APZ1, APZ2, or Clear Zone.			

**(ii) Alternative Development and Form Standards**

The following development and form standards are required to utilize the alternative dimensional standards listed in Table 3.2.8(F), Alternative Dimensional Standards – Multi-Family Buildings Where Individual Units are Detached, above:

- (A)** Buildings shall have porches that are a minimum of 48 square feet with a minimum dimension of 6 feet. Multi-story porches are encouraged;
- (B)** Attached garages shall not have doors face Ocean View Avenue unless they are setback a minimum of 40 feet from the front property line;
- (C)** Attached garages that face all other streets may have doors that face the street if setback a minimum of 15 feet from the first-floor front façade;
- (D)** Façades facing the street and the water shall have fenestration for each story that are balanced with the building design and exterior elevation;
- (E)** Parking areas shall be accessed by one common drive aisle that shall be a minimum of 20 feet wide. No parking shall be permitted in the common drive aisle;
- (F)** Parking shall be screened from view of the street;
- (G)** Parking shall be provided at 2 spaces per dwelling unit;

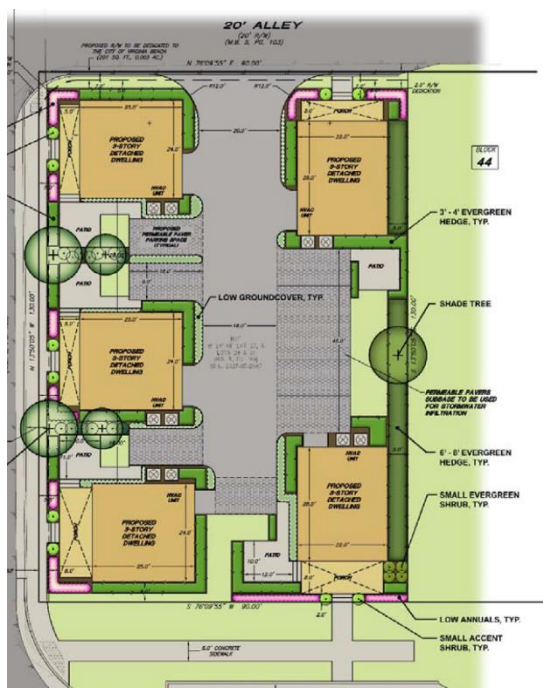
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#### 3.2.8 R-C: Residential - Coastal

- (H) Non-structured parking spaces shall be developed with a pervious material meeting the required design standards of public works;
- (I) Non-structured parking shall be a minimum of 20 feet from the front property line and located and shall be located beside or behind the building and screened from view of the right of way; and
- (J) Parking spaces shall meet the minimum dimensional standards as per Section 5.1, Parking, Loading, and Bicycle Standards, however may be located within garages and driveways that are not part of the common ingress and egress for the development. Stacked parking spaces may count towards meeting the parking requirement, however one parking space per dwelling unit shall be unobstructed.

*Figure 3.2.8(F): Examples of Multi-Family Dwellings with Detached Individual Units Using Alternative Standards*



#### (b) Mansion-Style Apartments

##### (i) Alternative Dimensional Standards

The alternative dimensional standards listed in Table 3.2.8(G), Alternative Dimensional Standards – Multi-Family Dwellings in Mansion-Style Apartments, below are permitted subject to the granting of a Zoning Certificate that approves the proposed residential development conforms to the Coastal Pattern Book:

<b>TABLE 3.2.8(G): ALTERNATIVE DIMENSIONAL STANDARDS – MULTI-FAMILY DWELLINGS IN MANSION-STYLE APARTMENTS</b>		
<b>Standard</b>		<b>North of Ocean View Avenue</b>
Lot Area, min. (sf.)		N/A
Lot Area, min. (sf. per unit)		N/A
Lot Width, min. (ft.)		75
Front Yard Setback (ft.)		10
Side Yard Setback, min. (ft.)		3
Corner Yard Setback, min. (ft.)		3
Rear Yard Setback, min. (ft.)		10
Building Height, max. (stories)	Min.	3
	Max.	4
Usable Open Space (% lot area)		15

**(ii) Alternative Development and Form Standards**

The following development and form standards are required to utilize the alternative dimensional standards listed in Table 3.2.8(G), Alternative Dimensional Standards – Multi-Family Dwellings in Mansion-Style Apartments, above:

- (A)** The maximum number of dwelling units shall be 12;
- (B)** When located within the APZ1, APZ2, or Clear Zone, density shall be 2,900 square feet of lot area per dwelling unit.
- (C)** Buildings shall have multi-story porches that are a minimum of 48 square feet each with a minimum dimension of 6 feet.;
- (D)** Dwelling unit access shall be from a common area interior to the development;
- (E)** Attached garages shall not face the street;
- (F)** First floor areas may be used as garages, limited access and limited storage;
- (G)** All façades shall have fenestration for each story that are balanced with the building design and exterior elevation;
- (H)** Parking areas shall be accessed by one common drive aisle that shall be a minimum of 20 feet wide. No parking shall be permitted in the common drive aisle;
- (I)** Parking shall not be located between the building and the street and shall be screened from view of the street;



### Article 3: Zoning Districts

#### 3.2 Residential Base Zoning Districts

##### 3.2.8 R-C: Residential - Coastal

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- (J) Non-structured parking spaces shall be developed with a pervious material meeting the required design standards of public works; and
- (K) Parking shall be provided at 1.6 spaces per dwelling unit;

*Figure 3.2.8(G): Examples of Multi-Family Dwellings in Mansion-Style Apartments Using Alternative Standards*



### **E. REFERENCE TO OTHER STANDARDS**

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### Article 3: Zoning Districts

#### 3.2 Residential Base Zoning Districts

##### 3.2.9 MF-NS: Multi-Family - Neighborhood-Scale

### 3.2.9. MF-NS: MULTI-FAMILY - NEIGHBORHOOD-SCALE

#### A. PURPOSE

The purpose of the Multi-Family - Neighborhood-Scale (MF-NS) district is to provide lands that accommodate a range of multi-family development on generally smaller lots. Development in the district shall be oriented toward the street, and provide pedestrian entrances from the street. Allowed uses include detached single-family dwellings, two-family dwellings, townhomes, moderate-scale multi-family dwellings, and parks and recreation centers.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts				Downtown or Traditional Character District		Suburban or Coastal Character District	
	Single- Family	Single-Family Semi-Detached	Two-Family	All Other Uses	Townhouse	Multi-Family	Townhouse	Multi-Family
Lot Area, min. (sf.)	5,000 [1]	7,500	7,500	5,000	8,000	8,000	8,000	8,000
Lot Area, min. (sf. per unit)	N/A	3,000	3,000	N/A	2,000 [4]	1,800 [5]	2,000 [5]	1,800 [5]
Lot Width, min. (ft.)	50 [2]	50	50	75	80	100	80	100
Lot Width, min. (ft. per unit)	N/A	25	25	N/A	20 [4]	N/A	20	N/A
Front Yard Setback (ft.)	Within 3 ft. of the average on the block face or 18-25 if no pattern exists							
Side Yard Setback, min. (ft.)	5				5 [3]	5	5 [3]	5
Corner Side Yard Setback, min. (ft.)	10				10		10	
Rear Yard Setback, min. (ft.)	20							
Building Height, max. (ft.)	4 stories							

**Notes:** sf. = square feet; ft. = feet

[1] Minimum lot area may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 4,000 sf.

[2] Minimum lot width may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 40 ft.

[3] The side yard standard only applies to exterior units.

[4] May be reduced by Conditional Use Permit per the provisions of Section 4.2.3.D(2)(f)(ii).

[5] 2,900 sf. per dwelling unit for lots located in the APZ 1, APZ 2, or Clear Zone.



### **C. REFERENCE TO OTHER STANDARDS**

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### Article 3: Zoning Districts

#### 3.2 Residential Base Zoning Districts

##### 3.2.10 MF-AC: Multi-Family - Apartment Complex

### 3.2.10. MF-AC: MULTI-FAMILY - APARTMENT COMPLEX

#### A. PURPOSE

The purpose of the Multi-Family - Apartment Complex (MF-AC) district is to provide lands that accommodate moderate-scale multi-family development, primarily apartment or townhouse complexes.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	Downtown or Traditional Character District			Suburban Character District			Coastal Character District		
	Townhouse	Multi-Family	All Other Uses	Townhouse	Multi-Family	All Other Uses	Townhouse	Multi-Family	All Other Uses
Lot Area, min. (sf.)	8,000 [2]	8,000	7,500	8,000	8,000	7,500	8,000	8,000	7,500
Lot Area, min. (per unit)	2,000	1,800 [3]	N/A	2,000	1,800 [3]	N/A	2,000	1,800 [3]	N/A
Lot Width, min. (ft.)	80 [2]	100	75	80	100	75	80	100	75
Lot Width, min. (ft. per unit)	20	N/A		20	N/A		20	N/A	
Front Yard Setback (ft.)	0-15			18-25			0-15		
Side Yard Setback, min. (ft.)	5 [1]	10		5 [1]	10		5 [1]	10	
Corner Side Yard Setback, min. (ft.)	10			10			10		
Rear Yard Setback, min. (ft.)	20	25		20	25		20	25	
Building Height, max. (ft.)	5 stories								

**Notes:** sf. = square feet; ft. = feet

[1] The side yard standard only applies to exterior units.

[2] May be reduced per the provisions of Section 4.2.3.D(2)(f)(ii).

[3] 2,900 sf. per dwelling unit for lots located in the APZ 1, APZ 2, or Clear Zone.

### **C. REFERENCE TO OTHER STANDARDS**

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### 3.2.11. MF-HR: MULTI-FAMILY - HIGH RISE

#### A. PURPOSE

The purpose of the Multi-Family - High Rise (MF-HR) district is to provide lands that accommodate primarily multi-story apartment towers, and also two-family dwellings and townhomes. Neighborhood-serving commercial uses and parks and recreation centers are allowed.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	Downtown or Traditional Character District		Suburban Character District			Coastal Character District		
	Multi-Family	All Other Uses	Single-Family	Multi-Family	All Other Uses	Single-Family	Multi-Family	All Other Uses
Lot Area, min. (sf.)	8,000	10,000	5,000 [1]	8,000	10,000	5,000 [1]	8,000	10,000
Lot Area, min. (sf per unit)	1,000	N/A	N/A	1,000 [4]	N/A	N/A	1,000 [4]	N/A
Lot Width, min. (ft.)	100		50 [2]	100		50 [2]	100	
Front Yard Setback (ft.)	0-15		18-25			0-15		
Side Yard Setback, min. (ft.)	10							
Corner Side Yard Setback, min. (ft.)	10							
Rear Yard Setback, min. (ft.)	25							
Building Height, min. (ft.)	6 stories [3]							

**Notes:** sf. = square feet; ft. = feet

[1] Minimum lot area may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 4,000 sf.

[2] Minimum lot width may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less than 40 ft.

[3] May be reduced per the provisions of Section 4.2.3.D(2)(c)(i).

[4] 2,900 sf. per dwelling unit for lots located in the APZ 1, APZ 2, or Clear Zone.

### **C. REFERENCE TO OTHER STANDARDS**

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### **3.2.12. USES FOR THE RESIDENTIAL BASE ZONING DISTRICT**

#### **A. PURPOSE**

The purpose of this section is to authorize the establishment and continuation of land uses that are allowed on a parcel in a Residential base zoning district. This section identifies the Residential zoning districts in which such uses are allowed, identifies what type of permit or review is required to establish them, and provides reference to any special performance standards applicable to particular uses.

#### **B. USE TABLE FOR USES IN RESIDENTIAL BASE DISTRICTS**

Table 3.2.12, Principal, Accessory, and Temporary Use Table for Residential Base Zoning Districts, lists allowable uses and shows whether each use is permitted or prohibited within the various Residential zoning districts, as well as the type of permit or development approval by which the use may be allowed. It further references any performance standards applicable to specific uses regardless of the zoning district in which they are allowed or the review procedure by which they are approved, unless expressly stated to the contrary.

# Article 3: Zoning Districts

## 3.2 Residential Base Zoning Districts

### 3.2.12 Uses for the Residential Base Zoning District

**TABLE 3.2.12: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR RESIDENTIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	SF-2	SF-4	SF-6	SF-10	SF-T	R-C	MF-NS	MF-AC	MF-HR	PERFORMANCE STANDARDS	
CONSERVATION AND OPEN SPACE USES												
Conservation and Open Space Uses	Arboretum or botanical garden										4.2.3.C(1)	4.2.3.C(2)(a)
	Boat ramp	P	P	P	P	P	P	P	P	P		4.2.3.C(2)(b)
	Cemetery											4.2.3.C(2)(c)
	Community dock	P	P	P	P	P	P	P	P	P		4.2.3.C(2)(d)
	Community garden	P	P	P	P	P	P	P	P	P		4.2.3.C(2)(e)
	Park	P	P	P	P	P	P	P	P	P		4.2.3.C(2)(f)
	Resource conservation use	P	P	P	P	P	P	P	P	P		4.2.3.C(2)(g)
RESIDENTIAL USES												
Household Living Uses	Dwelling, live-work					P/C	P/C	P/C	P/C	P/C	4.2.3.D(1)	4.2.3.D(2)(a)
	Dwelling, manufactured home											4.2.3.D(2)(b)
	Dwelling, multi-family						P/C	P	P	P		4.2.3.D(2)(c)
	Dwelling, single-family detached	P	P	P	P	P	P/C	P		P		4.2.3.D(2)(d)
	Dwelling, single-family semi-detached						P/C	P				4.2.3.D(2)(e)
	Dwelling, townhouse						P/C	P/C	P/C	P/C		4.2.3.D(2)(f)
	Dwelling, two-family						P/C	P				4.2.3.D(2)(g)
Group Living Uses	Assisted housing							P	P		4.2.3.D(3)	4.2.3.D(4)(a)
	Continuing care retirement community						C	C	C	C		4.2.3.D(4)(b)
	Dormitory											4.2.3.D(4)(c)
	Fraternity or sorority house							C	C			4.2.3.D(4)(d)
	Nursing home											4.2.3.D(4)(e)
	Residential re-entry facility											4.2.3.D(4)(f)
	Rooming house							C	C			4.2.3.D(4)(g)



### Article 3: Zoning Districts

#### 3.2 Residential Base Zoning Districts

##### 3.2.12 Uses for the Residential Base Zoning District

TABLE 3.2.12: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR RESIDENTIAL BASE ZONING DISTRICTS												
P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT BLANK CELL = PROHIBITED												
USE CATEGORY	USE TYPE	SF-2	SF-4	SF-6	SF-10	SF-T	R-C	MF-NS	MF-AC	MF-HR	PERFORMANCE STANDARDS	
PUBLIC, CIVIC, AND INSTITUTIONAL USES												
Community Service Uses	Community recreation center	C	C	C	C	C	C	C	C	C	4.2.3.E(1)	4.2.3.E(2)(d)
	Day care center, adult	C	C	C	C	C	C	C	C	C		4.2.3.E(2)(g)
	Day care center, child	C	C	C	C	C	C	C	C	C		4.2.3.E(2)(h)
	Government office						P	P	P	P		4.2.3.E(2)(j)
	Hospice							P	P	P		4.2.3.E(2)(m)
	Religious institution	C	C	C	C	C	C	C	C	C		4.2.3.E(2)(p)
	All other uses, not permitted											
Transportation and Utility Uses	Utility facility, minor	P	P	P	P	P	P	P	P	P	4.2.3.E(3)	4.2.3.E(4)(i)
	All other uses, not permitted											
COMMERCIAL USES												
Eating and Drinking Uses	Restaurant								C	C	4.2.3.F(1)	4.2.3.F(2)(f)
	All other uses, not permitted											
Recreation Uses	Health and fitness facility								C	C	4.2.3.F(3)	4.2.3.F(4)(g)
	All other uses, not permitted											



**TABLE 3.2.12: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR RESIDENTIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	SF-2	SF-4	SF-6	SF-10	SF-T	R-C	MF-NS	MF-AC	MF-HR	PERFORMANCE STANDARDS	
Retail Sales and Service Uses	Artist studio/school								C	C	4.2.3.F(5)	4.2.3.F(6)(b)
	Bank or other financial institution								C	C		4.2.3.F(6)(e)
	Convenience store								C	C		4.2.3.F(6)(h)
	Farmer’s market									C		4.2.3.F(6)(j)
	Music, dance, or martial arts studio/school								C	C		4.2.3.F(6)(p)
	Office								C	C		4.2.3.F(6)(r)
	Office, medical or dental								C	C		4.2.3.F(6)(t)
	Personal service business								C	P/C		4.2.3.F(6)(v)
	Retail goods establishment								C	C		4.2.3.F(6)(w)
	Used books/media								C	C		4.2.3.F(6)(aa)
	All other uses, not permitted											
Vehicle Sales and Service Uses	Not permitted											
Visitor Accommodation Uses	Bed and breakfast						C	C	C	C	4.2.3.F(9)	4.2.3.F(10)(a)
	Campground											4.2.3.F(10)(b)
	Hotel or motel											4.2.3.F(10)(c)
	Short-term rental unit (vacation rental)						C					4.2.3.F(10)(d)
INDUSTRIAL USES												
Industrial Uses	Not permitted											
ACCESSORY USES												
Accessory Uses	Accessory dwelling unit	P	P	P	C	C	P/C	C		C	4.3.3	4.3.3.E(1)(a)
	Automated teller machine							C	P	P		4.3.3.E(1)(b)
	Automatic car wash											4.3.3.E(1)(c)
	Day care center, child (as an accessory use)	C	C	C	C	C	C	C	C	C		4.3.3.E(1)(d)
	Day care home	P/C	P/C	P/C	P/C	P/C	P/C	P/C	P/C	P/C		4.3.3.E(1)(e)
	Drive-through facility, large-scale											4.3.3.E(1)(f)
	Drive-through facility, small-scale											4.3.3.E(1)(g)

### Article 3: Zoning Districts

#### 3.2 Residential Base Zoning Districts

##### 3.2.12 Uses for the Residential Base Zoning District

**TABLE 3.2.12: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR RESIDENTIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	SF-2	SF-4	SF-6	SF-10	SF-T	R-C	MF-NS	MF-AC	MF-HR	PERFORMANCE STANDARDS	
	Gasoline sales (as an accessory use)											4.3.3.E(1)(h)
	Home occupation	P/C	P/C	P/C	P/C	P/C	P/C	P/C	P/C	P/C		4.3.3.E(1)(i)
	Live entertainment											4.3.3.E(1)(j)
	Outdoor display of merchandise									C		4.3.3.E(1)(k)
	Outdoor seating (as accessory to an eating and drinking use)								C	C		4.3.3.E(1)(l)
	Outdoor storage											4.3.3.E(1)(m)
	Retail sales (as accessory to an industrial use)											4.3.3.E(1)(n)
	Sale of alcoholic beverages, off-premise											4.3.3.E(1)(o)
	Sale of alcoholic beverages, on-premise											4.3.3.E(1)(p)
	Short-term rental unit (homestay)						C					4.3.3.E(1)(q)
TEMPORARY USES AND STRUCTURES												
Temporary Uses and Structures	Construction-related office/yard	P	P	P	P	P	P	P	P	P	4.4.3	4.4.3.B(2)(a)
	Farmer’s market (as a temporary use)						P	P	P	P		4.4.3.B(2)(b)
	Flea market (as a temporary use)											4.4.3.B(2)(c)
	Garage or yard sale	P	P	P	P	P	P	P	P	P		4.4.3.B(2)(d)
	Manufactured home as temporary housing	P	P	P	P	P	P	P	P	P		4.4.3.B(2)(e)
	Outdoor display and storage											4.4.3.B(2)(f)
	Public event on private property	P	P	P	P	P	P	P	P	P		4.4.3.B(2)(g)
	Seasonal decorations display and sales	P	P	P	P	P	P	P	P	P		4.4.3.B(2)(h)
	Temporary health care structure	P	P	P	P	P	P	P	P	P		4.4.3.B(2)(i)
	Temporary use of an accessory structure as a principal dwelling after a catastrophe	P	P	P	P	P	P	P	P	P		4.4.3.B(2)(j)
	Tent	P	P	P	P	P	P	P	P	P		4.4.3.B(2)(k)
	Vendor or produce stand									P		4.4.3.B(2)(l)



### 3.3 COMMERCIAL BASE ZONING DISTRICTS

#### 3.3.1. GENERAL PURPOSES OF COMMERCIAL ZONING DISTRICTS

The purpose and intent of Commercial base zoning districts are to:

- A.** Provide a broad range of retail and service uses to benefit Norfolk citizens, business, and visitors;
- B.** Encourage the efficient use of land and ensure high quality design of the built environment;
- C.** Create suitable settings for a full range of commercial and mixed-use development that is harmoniously designed and integrated;
- D.** Accommodate new infill development and redevelopment that is consistent with surrounding context and character, and compatible with adjacent land uses; and
- E.** Strengthen the city's economic base, provide employment opportunities close to home, promote tourism, and implement the comprehensive plan.

#### 3.3.2. ESTABLISHED COMMERCIAL BASE ZONING DISTRICTS

The commercial base zoning districts established by this Ordinance are identified in Table 3.3.2, Established Commercial Base Zoning Districts.

Table 3.3.2: Established Commercial Base Zoning Districts	
C-N:	Neighborhood Commercial
C-C:	Community Commercial
C-R:	Regional Commercial
O:	Office
BC-O:	Business and Commerce Park - Office
BC-I:	Business and Commerce Park - Industrial



### 3.3.3. C-N: NEIGHBORHOOD COMMERCIAL

#### A. PURPOSE

The purpose of the Neighborhood Commercial (C-N) district is to provide lands that accommodate small-scale, neighborhood-serving commercial development such as retail and personal service establishments, offices and small shopping centers, and historic structures. Mixed-use development is allowed at a scale and form that is consistent with district character.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	Traditional Character District	Suburban Character District	Coastal Character District
	All Uses	All Uses	All Uses
Lot Area, min. (sf.)	5,000 [1]		
Lot Width, min. (ft.)	50 [2]		
Front Yard Setback (ft.)	0-10	10 (min.)	5-12
Side Yard Setback, min. (ft.)	0 [3]		
Corner Side Yard Setback, min. (ft.)	5		
Rear Yard Setback, min. (ft.)	0 [3]		
Building Height, max. (ft.)	35		

**Notes:** sf. = square feet; ft. = feet

- [1] Minimum lot area may be reduced to the average lot size of properties on the same block face, but the minimum shall not be less 4,000 sf.  
 [2] Minimum lot width may be reduced to the average width of properties on the same block face, but the minimum shall not be less than 40 ft.  
 [3] A 10-foot transitional buffer is required on properties adjacent to residential districts.

## C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities



### 3.3.4. C-C: COMMUNITY COMMERCIAL

#### A. PURPOSE

The purpose of the Community Commercial (C-C) district is to provide lands that accommodate community-serving commercial development primarily along heavily traveled arterial corridors. Community-serving mixed-use, commercial, and office development is allowed at a moderate scale, consistent with district character.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	Downtown or Traditional Character District	Suburban Character District	Coastal Character District
	All Uses	All Uses	All Uses
Lot Area, min. (sf.)	5,000		
Lot Width, min. (ft.)	50		
Front Yard Setback (ft.), min.	0	10	10
Front Yard Setback (ft.), max.	Within 3 ft. of the average on the block face or 18-25 if no pattern exists		
Side Yard Setback, min. (ft.)	0 [1]		
Corner Side Yard Setback, min. (ft.)	5		
Rear Yard Setback, min. (ft.)	0 [1]		
Building Height, max. (ft.)	60		

**Notes** sf. = square feet; ft. = feet

[1] A 10-foot transitional buffer is required on properties adjacent to residential districts.

### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### 3.3.5. C-R: REGIONAL COMMERCIAL

#### A. PURPOSE

The purpose of the Regional Commercial (C-R) district is to provide lands that accommodate region-serving commercial development. Development allowed in this district includes retail establishments, large-scale shopping centers, offices, and high-density mixed-use development.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts
	All Uses
Lot Area, min. (sf.)	30,000
Lot Width, min. (ft.)	125
Front Yard Setback, min. (ft.)	10
Side Yard Setback, min. (ft.)	10 [1]
Corner Side Yard Setback, min. (ft.)	10
Rear Yard Setback, min. (ft.)	10
Building Height, max. (ft.)	60

Notes: sf. = square feet; ft. = feet

[1] Outparcels adjacent to a C-C or C-R district shall have a minimum setback of 0 ft.

### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities



### 3.3.6. O: OFFICE

#### A. PURPOSE

The purpose of the Office (O) district is to provide lands that accommodate high-quality office development and related employment uses in planned, campus-like settings.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts
	All Uses
Lot Area, min. (sf.)	43,560
Lot Width, min. (ft.)	200
Front Yard Setback, min. (ft.)	25
Side Yard Setback, min. (ft.)	25
Corner Side Yard Setback, min. (ft.)	25
Rear Yard Setback, min. (ft.)	25
Building Height, max. (ft.)	65 [1]

**Notes** sf. = square feet; ft. = feet

[1] Maximum building height may be increased by 1 ft. for each additional 1 ft. of distance that the building is set back beyond the minimum setback in each yard.

## C. DISTRICT-SPECIFIC DEVELOPMENT STANDARDS

- (1) A 100-foot landscape buffer shall be maintained adjacent to all freshwater lakes except for the following uses:
  - (a) Outside eating and gathering areas or plazas; and
  - (b) Pedestrian circulation systems and bridges.
- (2) A minimum 4-foot high visual buffer landscaped screen, berm, or a combination of the two shall be required and maintained along any side of a surface parking area that abuts a public right-of-way.
- (3) No parking, loading, or storage shall be located within any required yard.

## D. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

## Article 3: Zoning Districts

### 3.3 Commercial Base Zoning Districts

#### 3.3.7 BC-O: Business and Commerce Park - Office

### 3.3.7. BC-O: BUSINESS AND COMMERCE PARK - OFFICE

#### A. PURPOSE

The purpose of the Business and Commerce Park - Office (BC-O) district is to provide lands that accommodate multi-tenant business, research, and office development in an attractive setting, while minimizing impacts to adjacent residential lands.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts
	All Uses
Lot Area, min. (sf.)	30,000
Lot Width, min. (ft.)	150
Front Yard Setback, min. (ft.)	25 [1]
Side Yard Setback, min. (ft.)	15 [2]
Corner Side Yard Setback, min. (ft.)	25 [1]
Rear Yard Setback, min. (ft.)	15 [3]
Building Height, max. (ft.)	65 [4]

**Notes:** sf. = square feet; ft. = feet

[1] 50 ft. when abutting an arterial roadway.

[2] For properties adjacent to single family residential districts, no loading is allowed within the first 25 feet of required side yard and no parking is allowed within the first 10 feet of required side yard, as measured from the property line.

[3] No parking, loading, or access easement is allowed within the first five feet of required rear yard as measured from the property line. Parking or loading is prohibited in any portion of the required rear yard for properties adjacent to single family residential districts.

[4] Maximum building height may be increased by 1 ft. for each additional 1 ft. of distance that the building is set back beyond the minimum setback in each yard.



## **C. DISTRICT-SPECIFIC DEVELOPMENT STANDARDS**

- (1)** A 100-foot landscape buffer shall be maintained adjacent to all freshwater lakes except for the following uses:
  - (a)** Outside eating and gathering areas or plazas; and
  - (b)** Pedestrian circulation systems and bridges.
- (2)** A minimum 4-foot high visual buffer landscaped screen, berm, or a combination of the two shall be required and maintained along any side of a surface parking area that abuts a public right-of-way.
- (3)** No parking, loading, or storage shall be located within any required yard.

## **D. REFERENCE TO OTHER STANDARDS**

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

## Article 3: Zoning Districts

### 3.3 Commercial Base Zoning Districts

#### 3.3.8 BC-I: Business and Commerce Park - Industrial

### 3.3.8. BC-I: BUSINESS AND COMMERCE PARK - INDUSTRIAL

#### A. PURPOSE

The purpose of the Business and Commerce Park - Industrial district (BC-I) is to provide land that accommodates business, research, light industrial, and manufacturing development in an attractive setting, while minimizing impacts to adjacent residential lands.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts
	All Uses
Lot Area, min. (sf.)	30,000
Lot Width, min. (ft.)	150
Front Yard Setback, min. (ft.)	25 [1] [2]
Side Yard Setback, min. (ft.)	15 [3]
Corner Side Yard Setback, min. (ft.)	25 [2][4]
Rear Yard Setback, min. (ft.)	15 [5]
Building Height, max. (ft.)	65

**Notes:** sf. = square feet; ft. = feet

- [1] For properties adjacent to single family residential districts, no loading is allowed within the first 25 feet of required front yard and no parking is allowed within the first 10 feet of required front yard, as measured from the right-of-way line.
- [2] 50 ft. when abutting Princess Anne Road or East Virginia Beach Boulevard
- [3] For properties adjacent to single family residential districts, no loading or easement is allowed within the first 25 feet of required side yard and no parking is allowed within the first 10 feet of required side yard, as measured from the property line.
- [4] No loading or easement is allowed within the first 25 feet of required corner side yard and no parking is allowed within the first 10 feet of required corner side yard, as measured from the right-of-way line.
- [5] No parking, loading, or access easement is allowed within the first five feet of required rear yard as measured from the property line. Parking or loading is prohibited in any portion of the required rear yard for properties adjacent to single family residential districts.
- [6] Maximum building height may be increased by 1 ft. for each additional 1 ft. of distance that the building is set back beyond the minimum setback in each yard.

## C. DISTRICT-SPECIFIC DEVELOPMENT STANDARDS

- (1) A 100-foot landscape buffer shall be maintained adjacent to all freshwater lakes except for the following uses:
  - (a) Outside eating and gathering areas or plazas; and
  - (b) Pedestrian circulation systems and bridges.
- (2) A minimum 4-foot high visual buffer landscaped screen, berm, or a combination of the two shall be required and maintained along any side of a surface parking area that abuts a public right-of-way.
- (3) No parking, loading, or storage shall be located within any required yard.

## D. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### **3.3.9. USES FOR THE COMMERCIAL BASE ZONING DISTRICTS**

#### **A. PURPOSE**

The purpose of this section is to authorize the establishment and continuation of land uses that are allowed on a parcel in a Commercial base zoning district. This section identifies the Commercial zoning districts in which such uses are allowed, identifies what type of permit or review is required to establish them, and provides reference to any special performance standards applicable to particular uses.

#### **B. USE TABLE FOR USES IN COMMERCIAL BASE DISTRICTS**

Table 3.3.9, Principal, Accessory, and Temporary Use Table for Commercial Base Zoning Districts, lists allowable uses and shows whether each use is permitted or prohibited within the various Commercial zoning districts, as well as the type of permit or development approval by which the use may be allowed. It further references any performance standards applicable to specific uses regardless of the zoning district in which they are allowed or the review procedure by which they are approved, unless expressly stated to the contrary.

### Article 3: Zoning Districts

#### 3.3 Commercial Base Zoning Districts

##### 3.3.9 Uses for the Commercial Base Zoning Districts

TABLE 3.3.9: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR COMMERCIAL BASE ZONING DISTRICTS									
P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT BLANK CELL = PROHIBITED									
USE CATEGORY	USE TYPE	C-N	C-C	C-R	O	BC-O	BC-I	PERFORMANCE STANDARDS	
CONSERVATION AND OPEN SPACE USES									
Conservation and Open Space Uses	Boat ramp	P	P	P	P	P	P	4.2.3.C(1)	4.2.3.C(2)(b)
	Park	P	P	P	P	P	P		4.2.3.C(2)(f)
	Resource conservation use	P	P	P	P	P	P		4.2.3.C(2)(g)
	All other uses, not permitted								
RESIDENTIAL USES									
Household Living Uses	Dwelling, live-work	P/C	P/C					4.2.3.D(1)	4.2.3.D(2)(a)
	Dwelling, multi-family	P/C	P/C	P					4.2.3.D(2)(c)
	All other uses, not permitted								
Group Living Uses	Continuing care retirement community			P				4.2.3.D(3)	4.2.3.D(4)(b)
	Nursing home		P						4.2.3.D(4)(e)
	Residential re-entry facility		C						4.2.3.D(4)(f)
	All other uses, not permitted								
PUBLIC, CIVIC, AND INSTITUTIONAL USES									
Community Service Uses	Broadcasting studio		P	P	P	P	P	4.2.3.E(1)	4.2.3.E(2)(a)
	College or university		P	P	P	P	P		4.2.3.E(2)(b)
	Communication tower, commercial	C	C	C	C	C	C		4.2.3.E(2)(c)
	Community recreation center								4.2.3.E(2)(d)
	Correctional facility								4.2.3.E(2)(e)
	Cultural facility, museum, or library	P	P	P					4.2.3.E(2)(f)
	Day care center, adult	P	P	P	P	P	P		4.2.3.E(2)(g)
	Day care center, child	P	P	P	P	P	P		4.2.3.E(2)(h)

### Article 3: Zoning Districts

#### 3.3 Commercial Base Zoning Districts

##### 3.3.9 Uses for the Commercial Base Zoning Districts

**TABLE 3.3.9: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR COMMERCIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
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USE CATEGORY	USE TYPE	C-N	C-C	C-R	O	BC-O	BC-I	PERFORMANCE STANDARDS	
	Government maintenance, storage, and distribution facility								4.2.3.E(2)(i)
	Government office	P	P	P	P	P	P		4.2.3.E(2)(j)
	Hiring hall		P						4.2.3.E(2)(k)
	Hospital								4.2.3.E(2)(l)
	Hospice	P							4.2.3.E(2)(m)
	Membership organization	P	P	P		P			4.2.3.E(2)(n)
	Military installation						P		4.2.3.E(2)(o)
	Religious institution	P	P	P					4.2.3.E(2)(p)
	School, boarding								4.2.3.E(2)(q)
	School, elementary								4.2.3.E(2)(r)
	School, secondary								4.2.3.E(2)(s)
	School, vocational or trade	P	P	P	P	P	P		4.2.3.E(2)(t)
Transportation and Utility Uses	Airport							4.2.3.E(3)	4.2.3.E(4)(a)
	Heliport				P	P	P		4.2.3.E(4)(b)
	Park and ride facility		P	P	P	P	P		4.2.3.E(4)(c)
	Parking facility	P/C	P/C	P/C					4.2.3.E(4)(d)
	Passenger terminal, surface transportation		P	P			P		4.2.3.E(4)(e)
	Solar energy collection facility (large-scale)						P		4.2.3.E(4)(f)
	Terminal, cruise ship								4.2.3.E(4)(g)
	Utility facility, major								4.2.3.E(4)(h)
	Utility facility, minor	P	P	P	P	P	P		4.2.3.E(4)(i)
	Wind energy conversion system (large-scale)						P		4.2.3.E(4)(j)

**TABLE 3.3.9: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR COMMERCIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
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USE CATEGORY	USE TYPE	CZ	CC	CR	O	BC-O	BC-I	PERFORMANCE STANDARDS
<b>COMMERCIAL USES</b>								
<b>Eating and Drinking Uses</b>	After-hours membership establishment		C	C				4.2.3.F(2)(a)
	Banquet hall		C	C	C	C		4.2.3.F(2)(b)
	Catering establishment/commercial kitchen	P	P	P	P	P	P	4.2.3.F(2)(c)
	Nightclub		C	C				4.2.3.F(2)(d)
	Production of craft beverages	C	C	C		C	C	4.2.3.F(2)(e)
	Restaurant	P/C	P/C	P/C	P/C	P/C	P/C	4.2.3.F(2)(f)
<b>Recreation Uses</b>	Amusement park							4.2.3.F(4)(a)
	Arena, stadium, or amphitheater			C				4.2.3.F(4)(b)
	Cinema or theater	C	P	P				4.2.3.F(4)(c)
	Commercial recreation center	C	C	C				4.2.3.F(4)(d)
	Conference or training center			P	P	P		4.2.3.F(4)(e)
	Country club							4.2.3.F(4)(f)
	Health and fitness facility	P	P	P	P	P	P	4.2.3.F(4)(g)
	Marina	P	P					4.2.3.F(4)(h)
	Recreation facility, indoor	C	P	P		P	P	4.2.3.F(4)(i)
	Recreation facility, outdoor		C	C				4.2.3.F(4)(j)
<b>Retail Sales and Service Uses</b>	Animal shelter						P	4.2.3.F(6)(a)
	Artist studio/school	P	P	P		P	P	4.2.3.F(6)(b)
	Auction house		P	P			P	4.2.3.F(6)(c)
	Auto supply sales and rental		P/C	P/C				4.2.3.F(6)(d)
	Bank or other financial institution	P	P	P	P	P	P	4.2.3.F(6)(e)
	Check cashing, auto title, or payday loan businesses		C					4.2.3.F(6)(f)
	Consignment shop	P	P	P				4.2.3.F(6)(g)
	Convenience store	C	P/C	P/C				4.2.3.F(6)(h)
	Establishment for the sale of distilled spirits		C	C				4.2.3.F(6)(i)



# Article 3: Zoning Districts

## 3.3 Commercial Base Zoning Districts

### 3.3.9 Uses for the Commercial Base Zoning Districts

**TABLE 3.3.9: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR COMMERCIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	CZ	CC	CR	O	BC-O	BC-I	PERFORMANCE STANDARDS	
	for off-premises consumption								
	Farmer's market	P	P	P					4.2.3.F(6)(j)
	Flea market, indoor		C	C					4.2.3.F(6)(k)
	Flea market, outdoor		C	C					4.2.3.F(6)(l)
	Funeral home or mortuary		P						4.2.3.F(6)(m)
	Grocery store	C	P/C	P/C					4.2.3.F(6)(n)
	Kennel		C	C			C		4.2.3.F(6)(o)
	Music, dance, or martial arts studio/school	P	P	P	P	P	P		4.2.3.F(6)(p)
	Novelty store or theater, adult		C						4.2.3.F(6)(q)
	Office	P	P	P	P	P	P		4.2.3.F(6)(r)
	Office, contractor	P	P	P		P	P		4.2.3.F(6)(s)
	Office, medical or dental	P	P	P	P	P	P		4.2.3.F(6)(t)
	Pawnshop		C						4.2.3.F(6)(u)
	Personal service business	P/C	P/C	P/C	P/C	P/C			4.2.3.F(6)(v)
	Retail goods establishment	P/C	P/C	P/C					4.2.3.F(6)(w)
	Self-service storage units		P	P		P	P		4.2.3.F(6)(x)
	Tattoo parlor		C	C					4.2.3.F(6)(y)
	Therapeutic massage facility		P	P					4.2.3.F(6)(z)
	Used books/media	P	P	P					4.2.3.F(6)(aa)
	Used merchandise sales	C	C	C					4.2.3.F(6)(bb)
	Veterinary hospital or clinic		P	P			P		4.2.3.F(6)(cc)
Vehicle Sales and Service Uses	Automobile repair and maintenance, major		C	C			P	4.2.3.F(7)	4.2.3.F(8)(a)
	Automobile repair and maintenance, minor		C	C			P		4.2.3.F(8)(b)
	Automobile rental		P/C	P/C			P		4.2.3.F(8)(c)
	Automobile sales		C	C					4.2.3.F(8)(d)
	Automobile salvage yard, indoor or outdoor								4.2.3.F(8)(e)
	Automobile storage						C		4.2.3.F(8)(f)

**TABLE 3.3.9: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR COMMERCIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	C-N	C-C	C-R	O	BC-O	BC-I	PERFORMANCE STANDARDS	
	Automobile tow lot						C		4.2.3.F(8)(g)
	Boat building and repair								4.2.3.F(8)(h)
	Boat dry storage facility								4.2.3.F(8)(i)
	Boat sales, rental, service, or repair		P/C	P/C					4.2.3.F(8)(j)
	Car wash		C	C					4.2.3.F(8)(k)
	Commercial fueling depot			C			C		4.2.3.F(8)(l)
	Commercial vehicle repair and maintenance						P		4.2.3.F(8)(m)
	Commercial vehicle sales and rental						P		4.2.3.F(8)(n)
	Electric vehicle charging station		C	C			P		4.2.3.F(8)(o)
	Gas station		C	C					4.2.3.F(8)(p)
	Taxi or limousine service facilities		C	C			P		4.2.3.F(8)(q)
	Tire sales and repair		C	C			P		4.2.3.F(8)(r)
	Visitor Accommodation Uses	Bed and breakfast	C						
Campground								4.2.3.F(10)(b)	
Hotel or motel		P	P	P	P	P	P	4.2.3.F(10)(c)	
Short-term rental unit (vacation rental)								4.2.3.F(10)(d)	
INDUSTRIAL USES									
Industrial Uses	Brewery, cidery, distillery, or winery					P	P	4.2.3.G(1)	4.2.3.G(2)(a)
	Distribution center					P	P		4.2.3.G(2)(e)
	Food processing						P		4.2.3.G(2)(f)
	Fuel oil or bottled gas distribution						C		4.2.3.G(2)(g)
	Hazardous materials manufacturing or storage						C		4.2.3.G(2)(h)
	Industrial services, light					P	P		4.2.3.G(2)(j)
	Landscaping contractor’s business					P	P		
	Manufacturing, assembly or fabrication, light					P	P		4.2.3.G(2)(p)
	Moving and storage						P		

### Article 3: Zoning Districts

#### 3.3 Commercial Base Zoning Districts

##### 3.3.9 Uses for the Commercial Base Zoning Districts

**TABLE 3.3.9: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR COMMERCIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	C-N	C-C	C-R	O	BC-O	BC-I	PERFORMANCE STANDARDS	
	Recycling collection station	P	P	P			P		4.2.3.G(2)(r)
	Small engine repair shop		P				P		4.2.3.G(2)(y)
	Trucking Terminal						P		4.2.3.G(2)(bb)
	Warehouse					P	P		4.2.3.G(2)(cc)
	Wholesale establishment					P	P		4.2.3.G(2)(dd)
	All other uses, not permitted								
ACCESSORY USES									
Accessory Uses	Accessory dwelling unit							4.3.3	4.3.3.E(1)(a)
	Automated teller machine	P	P	P	P	P	P		4.3.3.E(1)(b)
	Automatic car wash		P	P					4.3.3.E(1)(c)
	Day care center, child (as an accessory use)	P	P	P	P	P	P		4.3.3.E(1)(d)
	Day care home								4.3.3.E(1)(e)
	Drive-through facility, large-scale		C	C	C	C	C		4.3.3.E(1)(f)
	Drive-through facility, small-scale	P	P	P	P	P	P		4.3.3.E(1)(g)
	Gasoline sales (as an accessory use)		C	C					4.3.3.E(1)(h)
	Home occupation								4.3.3.E(1)(i)
	Live entertainment	C	C	C	C	C	C		4.3.3.E(1)(j)
	Outdoor display of merchandise	P	P	P	P	P	P		4.3.3.E(1)(k)
	Outdoor seating (as accessory to an eating and drinking use)	P	P	P	P	P	P		4.3.3.E(1)(l)
	Outdoor storage		P	P			P		4.3.3.E(1)(m)
	Retail sales (as accessory to an industrial use)					P	P		4.3.3.E(1)(n)
	Sale of alcoholic beverages, off-premise	C	C	C	C	C	C		4.3.3.E(1)(o)
	Sale of alcoholic beverages, on-premise	C	C	C	C	C	C		4.3.3.E(1)(p)
	Short-term rental unit (homestay)								4.3.3.E(1)(q)

**TABLE 3.3.9: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR COMMERCIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
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USE CATEGORY	USE TYPE	CN	CC	CR	O	BC-O	BC-I	PERFORMANCE STANDARDS
<b>TEMPORARY USES AND STRUCTURES</b>								
<b>Temporary Uses and Structures</b>	Construction-related office/yard	P	P	P	P	P	P	4.4.3.B(2)(a)
	Farmer's market (as a temporary use)	P	P	P	P	P	P	4.4.3.B(2)(b)
	Flea market (as a temporary use)	P	P	P	P	P	P	4.4.3.B(2)(c)
	Garage or yard sale							4.4.3.B(2)(d)
	Manufactured home as temporary housing	P	P	P	P	P	P	4.4.3.B(2)(e)
	Outdoor display and storage	P	P	P	P	P	P	4.4.3.B(2)(f)
	Public event on private property	P	P	P	P	P	P	4.4.3.B(2)(g)
	Seasonal decorations display and sales	P	P	P	P	P	P	4.4.3.B(2)(h)
	Temporary health care structure							4.4.3.B(2)(i)
	Temporary use of an accessory structure as a principal dwelling after a catastrophe							4.4.3.B(2)(j)
	Tent	P	P	P	P	P	P	4.4.3.B(2)(k)
	Vendor or produce stand	P	P	P	P	P	P	4.4.3.B(2)(l)



## 3.5 INDUSTRIAL BASE ZONING DISTRICTS

### 3.5.1. GENERAL PURPOSES OF INDUSTRIAL BASE ZONING DISTRICTS

The purpose and intent of the industrial base zoning districts are to:

- A.** Create suitable environments for various types of industrial businesses, and protect them from the adverse effects of incompatible development;
- B.** Strengthen the local economy and provide employment opportunities;
- C.** Accommodate new infill development and redevelopment that is consistent with surrounding context and character;
- D.** Ensure industrial development is located and designed to protect and preserve the character of existing single-family districts and neighborhoods;
- E.** Improve the design quality of industrial areas; and
- F.** Help implement the comprehensive plan and other plans adopted by City Council.

### 3.5.2. ESTABLISHED INDUSTRIAL BASE ZONING DISTRICTS

The industrial base zoning districts established by this Ordinance are identified in Table 3.5.2, Established Industrial Base Zoning Districts.

Table 3.5.2: Established Industrial Base Zoning Districts	
I-L:	Industrial - Light
I-G:	Industrial - General
I-W:	Industrial - Waterfront
I-DW:	Industrial - Deep Water

### 3.5.3. I-L: INDUSTRIAL - LIGHT

#### A. PURPOSE

The purpose of the Industrial - Light (I-L) district is to provide lands to accommodate a range of primarily indoor industrial uses, such as wholesale, warehousing, distribution, light fabrication or processing, light repair and service, storage, and limited assembly uses. District standards are also intended to minimize impacts to adjacent residential land uses.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	Downtown or Traditional Character District	Suburban or Coastal Character District
	All Uses	All Uses
Lot Area, min. (sf.)	10,000	10,000
Lot Width, min. (ft.)	100	100
Front Yard Setback, min. (ft.)	10 [1]	10
Side Yard Setback, min. (ft.)	0 [2]	0 [2]
Corner Side Yard Setback, min. (ft.)	10	10
Rear Yard Setback, min. (ft.)	0 [2]	0 [2]
Building Height, max. (ft.)	65 [3]	65 [3]

**Notes:** sf. = square feet; ft. = feet

[1] Minimum front yard setback shall be equal to the average front yard setback for properties on the same block face or 10 feet, whichever is less.

[2] A Type C buffer (see Section 5.3, Perimeter Buffers) is required on properties adjacent to residential districts.

[3] Maximum building height of 35 ft. if adjacent to residential districts.



### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

## Article 3: Zoning Districts

### 3.5 Industrial Base Zoning Districts

#### 3.5.4 I-G: Industrial - General

### 3.5.4. I-G: INDUSTRIAL - GENERAL

#### A. PURPOSE

The purpose of the Industrial - General Light (I-G) district is to provide lands to accommodate a range of intensive indoor and outdoor industrial uses such as fabrication, manufacturing, assembly, processing and bulk storage. District standards are also intended to minimize impacts to adjacent residential land uses.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	Downtown or Traditional Character District	Suburban or Coastal Character District
	All Uses	All Uses
Lot Area, min. (sf.)	30,000	30,000
Lot Width, min. (ft.)	150	150
Front Yard Setback, min. (ft.)	10 [1]	10
Side Yard Setback, min. (ft.)	0 [2]	0 [1]
Corner Side Yard Setback, min. (ft.)	10	10
Rear Yard Setback, min. (ft.)	0 [2]	0 [2]
Building Height, max. (ft.)	65	65

**Notes:** sf. = square feet; ft. = feet

[1] Minimum front yard setback shall be equal to the average front yard setback for properties on the same block face or 10 feet, whichever is less.

[2] A Type C buffer (see Section 5.3, Perimeter Buffers) is required on properties adjacent to residential districts.

### **C. REFERENCE TO OTHER STANDARDS**

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities

### 3.5.5. I-W: INDUSTRIAL - WATERFRONT

#### A. PURPOSE

The purpose of the Industrial - Waterfront (I-W) district is to provide lands to accommodate water-dependent maritime industrial activities which do not require direct access to deep water channels. This includes marinas, yacht clubs, seafood processing, ship building and repair, and utility facilities.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts
	All Uses
Lot Area, min. (sf.)	15,000
Lot Width, min. (ft.)	150
Front Yard Setback, min. (ft.)	10
Side Yard Setback, min. (ft.)	0 [1]
Corner Side Yard Setback, min. (ft.)	10
Rear Yard Setback, min. (ft.)	0 [1]
Building Height, max. (ft.)	45

**Notes:** sf. = square feet; ft. = feet

[1] A Type C buffer (see Section 5.3, Perimeter Buffers) is required on properties adjacent to residential districts.

### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities



### Article 3: Zoning Districts

#### 3.5 Industrial Base Zoning Districts

##### 3.5.6 I-DW: Industrial - Deep Water

### 3.5.6. I-DW: INDUSTRIAL - DEEP WATER

#### A. PURPOSE

The purpose of the Industrial - Deep Water (I-DW) district is to provide lands that accommodate water-dependent maritime industrial activities that require access to deep water channels. This includes shipping, shipbuilding and repair, and bulk cargo transfer.



#### B. INTENSITY AND DIMENSIONAL STANDARDS

Standard	All Character Districts
	All Uses
Lot Area, min. (sf.)	43,560
Lot Width, min. (ft.)	150
Front Yard Setback, min. (ft.)	10
Side Yard Setback, min. (ft.)	0 [1]
Corner Side Yard Setback, min. (ft.)	10
Rear Yard Setback, min. (ft.)	0 [1]
Building Height, max. (ft.)	N/A

**Notes:** sf. = square feet; ft. = feet

[1] A Type C buffer (see Section 5.3, Perimeter Buffers) is required on properties adjacent to residential districts.

### C. REFERENCE TO OTHER STANDARDS

Article 2	Administration	Sec. 5.7	Signs
Article 4	Performance Standards	Sec. 5.8	Exterior Lighting
Sec. 5.1	Parking, Loading, and Bicycle Standards	Sec. 5.9	Form Standards
Sec. 5.2	Landscaping Standards	Sec. 5.10	Neighborhood Protection
Sec. 5.3	Perimeter Buffers	Sec. 5.11	Accessory Structures
Sec. 5.4	Screening	Sec. 5.12	Resilience Quotient
Sec. 5.5	Open Space Set-Asides	Article 6	Nonconformities



### **3.5.7. USES FOR THE INDUSTRIAL BASE ZONING DISTRICTS**

#### **A. PURPOSE**

The purpose of this section is to authorize the establishment and continuation of land uses that are allowed on a parcel in an Industrial base zoning district. This section identifies the Industrial zoning districts in which such uses are allowed, identifies what type of permit or review is required to establish them, and provides reference to any special performance standards applicable to particular uses.

#### **B. USE TABLE FOR USES IN INDUSTRIAL BASE DISTRICTS**

Table 3.5.7, Principal, Accessory, and Temporary Use Table for Industrial Base Zoning Districts, lists allowable uses and shows whether each use is permitted or prohibited within the various Industrial zoning districts, as well as the type of permit or development approval by which the use may be allowed. It further references any performance standards applicable to specific uses regardless of the zoning district in which they are allowed or the review procedure by which they are approved, unless expressly stated to the contrary.

### Article 3: Zoning Districts

#### 3.5 Industrial Base Zoning Districts

##### 3.5.7 Uses for the Industrial Base Zoning Districts

TABLE 3.5.7: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR INDUSTRIAL BASE ZONING DISTRICTS							
P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT BLANK CELL = PROHIBITED							
USE CATEGORY	USE TYPE	I-I	I-G	I-W	I-DW	PERFORMANCE STANDARDS	
CONSERVATION AND OPEN SPACE USES							
Conservation and Open Space Uses	Arboretum or botanical garden					4.2.3.C(1)	4.2.3.C(2)(a)
	Boat ramp			P			4.2.3.C(2)(b)
	Cemetery						4.2.3.C(2)(c)
	Community dock						4.2.3.C(2)(d)
	Community garden	P					4.2.3.C(2)(e)
	Park	P	P	P	P		4.2.3.C(2)(f)
	Resource conservation use	P	P	P	P		4.2.3.C(2)(g)
RESIDENTIAL USES							
Household Living Uses	Not permitted						
Group Living Uses	Not permitted						
PUBLIC, CIVIC, AND INSTITUTIONAL USES							
Community Service Uses	Broadcasting studio	P				4.2.3.E(1)	4.2.3.E(2)(a)
	College or university						4.2.3.E(2)(b)
	Communication tower, commercial	C	C	C	C		4.2.3.E(2)(c)
	Community recreation center						4.2.3.E(2)(d)
	Correctional facility						4.2.3.E(2)(e)
	Cultural facility, museum, or library						4.2.3.E(2)(f)
	Day care center, adult						4.2.3.E(2)(g)
	Day care center, child						4.2.3.E(2)(h)
	Government maintenance, storage, and distribution facility	P	P				4.2.3.E(2)(i)
	Government office	P	P	P	P		4.2.3.E(2)(j)
	Hiring hall	P	P	P	P		4.2.3.E(2)(k)
	Hospital						4.2.3.E(2)(l)
	Hospice						4.2.3.E(2)(m)

### Article 3: Zoning Districts

#### 3.5 Industrial Base Zoning Districts

##### 3.5.7 Uses for the Industrial Base Zoning Districts

TABLE 3.5.7: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR INDUSTRIAL BASE ZONING DISTRICTS							
P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT BLANK CELL = PROHIBITED							
USE CATEGORY	USE TYPE	I-I	I-G	I-W	I-DW	PERFORMANCE STANDARDS	
	Membership organization	P					4.2.3.E(2)(n)
	Military installation						4.2.3.E(2)(o)
	Religious institution	P					4.2.3.E(2)(p)
	School, boarding						4.2.3.E(2)(q)
	School, elementary						4.2.3.E(2)(r)
	School, secondary						4.2.3.E(2)(s)
	School, vocational or trade	P	P		P		4.2.3.E(2)(t)
	Transportation and Utility Uses	Airport					
Heliport					P	4.2.3.E(4)(b)	
Park and ride facility						4.2.3.E(4)(c)	
Parking facility		P	P	P	P	4.2.3.E(4)(d)	
Passenger terminal, surface transportation						4.2.3.E(4)(e)	
Solar energy collection facility (large-scale)						4.2.3.E(4)(f)	
Terminal, cruise ship					P	4.2.3.E(4)(g)	
Utility facility, major			P		P	4.2.3.E(4)(h)	
Utility facility, minor		P	P	P	P	4.2.3.E(4)(i)	
Wind energy conversion system (large-scale)				P	P	4.2.3.E(4)(j)	
COMMERCIAL USES							
Eating and Drinking Uses	After-hours membership establishment					4.2.3.F(1)	4.2.3.F(2)(a)
	Banquet hall	C					4.2.3.F(2)(b)
	Catering establishment/commercial kitchen	P					4.2.3.F(2)(c)
	Nightclub						4.2.3.F(2)(d)
	Production of craft beverages	C		C			4.2.3.F(2)(e)
	Restaurant	P/C	P/C	P/C			4.2.3.F(2)(f)

**TABLE 3.5.7: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR INDUSTRIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT   C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	I-L	I-G	I-W	I-DW	PERFORMANCE STANDARDS	
Recreation Uses	Country club			P		4.2.3.F(3)	4.2.3.F(4)(f)
	Health and fitness facility	P	P				4.2.3.F(4)(g)
	Marina			P			4.2.3.F(4)(h)
	Recreation facility, indoor	P	P				4.2.3.F(4)(i)
	All other uses, not permitted						
Retail Sales and Service Uses	Animal shelter	P				4.2.3.F(5)	4.2.3.F(6)(a)
	Artist studio/school	P	P				4.2.3.F(6)(b)
	Auction house	P	P				4.2.3.F(6)(c)
	Bank or other financial institution	P					4.2.3.F(6)(e)
	Convenience store	P/C	P/C				4.2.3.F(6)(h)
	Kennel	P	P				4.2.3.F(6)(o)
	Music, dance, or martial arts studio/school	P					4.2.3.F(6)(p)
	Office	P	P				4.2.3.F(6)(r)
	Office, contractor	P	P				4.2.3.F(6)(s)
	Self-service storage units	P					4.2.3.F(6)(x)
	Tattoo parlor	C					4.2.3.F(6)(y)
	Veterinary hospital or clinic	P					4.2.3.F(6)(cc)
	All other uses, not permitted						
Vehicle Sales and Service Uses	Automobile repair and maintenance, major	C	C			4.2.3.F(7)	4.2.3.F(8)(a)
	Automobile repair and maintenance, minor	C	C				4.2.3.F(8)(b)
	Automobile rental	C	C				4.2.3.F(8)(c)
	Automobile sales						4.2.3.F(8)(d)
	Automobile salvage yard, indoor or outdoor		C				4.2.3.F(8)(e)
	Automobile storage	C	C				4.2.3.F(8)(f)
	Automobile tow lot	C	C				4.2.3.F(8)(g)
	Boat building and repair			P			4.2.3.F(8)(h)
	Boat dry storage facility			C			4.2.3.F(8)(i)

### Article 3: Zoning Districts

#### 3.5 Industrial Base Zoning Districts

##### 3.5.7 Uses for the Industrial Base Zoning Districts

TABLE 3.5.7: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR INDUSTRIAL BASE ZONING DISTRICTS							
P = PERMITTED BY RIGHT   C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT BLANK CELL = PROHIBITED							
USE CATEGORY	USE TYPE	I-I	I-G	I-W	I-DW	PERFORMANCE STANDARDS	
	Boat sales, rental, service, or repair	P		P			4.2.3.F(8)(j)
	Car wash	C					4.2.3.F(8)(k)
	Commercial fueling depot	P	P				4.2.3.F(8)(l)
	Commercial vehicle repair and maintenance		C				4.2.3.F(8)(m)
	Commercial vehicle sales and rental		P				4.2.3.F(8)(n)
	Electric vehicle charging station	C	C				4.2.3.F(8)(o)
	Gas station	C	C				4.2.3.F(8)(p)
	Taxi or limousine service facilities	P	P				4.2.3.F(8)(q)
	Tire sales and repair	C	C				4.2.3.F(8)(r)
Visitor Accommodation Uses	Not permitted						
INDUSTRIAL USES							
Industrial Uses	Brewery, cidery, distillery, or winery	P	P			4.2.3.G(1)	4.2.3.G(2)(a)
	Cargo pier and terminal				P		4.2.3.G(2)(b)
	Composting facility		C				4.2.3.G(2)(c)
	Concrete, asphalt, brick, manufacturing plant		P	P	P		4.2.3.G(2)(d)
	Distribution center	C	P				4.2.3.G(2)(e)
	Food processing	P	P				4.2.3.G(2)(f)
	Fuel oil or bottled gas distribution	C	C		C		4.2.3.G(2)(g)
	Hazardous materials manufacturing or storage		C		C		4.2.3.G(2)(h)
	Industrial services, heavy		P		P		4.2.3.G(2)(i)
	Industrial services, light	P	P	P	P		4.2.3.G(2)(j)
	Junkyard or storage yard		C				4.2.3.G(2)(k)
	Landfill						4.2.3.G(2)(l)
	Landscaping contractor’s business	P	P				4.2.3.G(2)(m)

**TABLE 3.5.7: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR INDUSTRIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	I-L	I-G	I-W	I-DW	PERFORMANCE STANDARDS	
	Laundry and dry cleaning plant	P	P				4.2.3.G(2)(n)
	Manufacturing, assembly or fabrication, heavy		P				4.2.3.G(2)(o)
	Manufacturing, assembly or fabrication, light	P	P				4.2.3.G(2)(p)
	Moving and storage	P					4.2.3.G(2)(q)
	Recycling collection station	P	P				4.2.3.G(2)(r)
	Recycling sorting and processing center	C	P		C		4.2.3.G(2)(s)
	Rock, sand, and gravel distribution and storage		C	C	C		4.2.3.G(2)(t)
	Seafood processing		P	P			4.2.3.G(2)(u)
	Septic tank and portable toilet service	C	P				4.2.3.G(2)(v)
	Ship building and repair				P		4.2.3.G(2)(w)
	Slaughterhouse		C				4.2.3.G(2)(x)
	Small engine repair shop	P	P	P			4.2.3.G(2)(y)
	Solid waste processing facility		C				4.2.3.G(2)(z)
	Solid waste transfer station		C				4.2.3.G(2)(aa)
	Trucking Terminal	C	P				4.2.3.G(2)(bb)
	Warehouse	P	P	P	P		4.2.3.G(2)(cc)
	Wholesale establishment	P	P				4.2.3.G(2)(dd)
	ACCESSORY USES						
Accessory Uses	Accessory dwelling unit					4.3.3	4.3.3.E(1)(a)
	Automated teller machine	P	P	P	P		4.3.3.E(1)(b)
	Automatic car wash	P					4.3.3.E(1)(c)
	Day care center, child (as an accessory use)						4.3.3.E(1)(d)
	Day care home						4.3.3.E(1)(e)
	Drive-through facility, large-scale	C	C	C	C		4.3.3.E(1)(f)
	Drive-through facility, small-scale	P	P	P	P		4.3.3.E(1)(g)

### Article 3: Zoning Districts

#### 3.5 Industrial Base Zoning Districts

##### 3.5.7 Uses for the Industrial Base Zoning Districts

**TABLE 3.5.7: PRINCIPAL, ACCESSORY, AND TEMPORARY USE TABLE FOR INDUSTRIAL BASE ZONING DISTRICTS**

**P = PERMITTED BY RIGHT    C = ALLOWED ONLY WITH APPROVAL OF A CONDITIONAL USE PERMIT  
BLANK CELL = PROHIBITED**

USE CATEGORY	USE TYPE	I-L	I-G	I-W	I-DW	PERFORMANCE STANDARDS	
	Gasoline sales (as an accessory use)						4.3.3.E(1)(h)
	Home occupation						4.3.3.E(1)(i)
	Live entertainment	C					4.3.3.E(1)(j)
	Outdoor display of merchandise	P	P				4.3.3.E(1)(k)
	Outdoor seating (as accessory to an eating and drinking use)	P	P	P			4.3.3.E(1)(l)
	Outdoor storage	P	P				4.3.3.E(1)(m)
	Retail sales (as accessory to an industrial use)	P	P				4.3.3.E(1)(n)
	Sale of alcoholic beverages, off-premise	C		C			4.3.3.E(1)(o)
	Sale of alcoholic beverages, on-premise	C		C			4.3.3.E(1)(p)
	Short-term rental unit (homestay)						4.3.3.E(1)(q)
TEMPORARY USES AND STRUCTURES							
Temporary Uses and Structures	Construction-related office/yard	P	P	P	P	4.4.3	4.4.3.B(2)(a)
	Farmer’s market (as a temporary use)	P	P				4.4.3.B(2)(b)
	Flea market (as a temporary use)	P	P				4.4.3.B(2)(c)
	Garage or yard sale						4.4.3.B(2)(d)
	Manufactured home as temporary housing						4.4.3.B(2)(e)
	Outdoor display and storage	P	P	P	P		4.4.3.B(2)(f)
	Public event on private property	P	P	P	P		4.4.3.B(2)(g)
	Seasonal decorations display and sales	P	P	P	P		4.4.3.B(2)(h)
	Temporary health care structure						4.4.3.B(2)(i)
	Temporary use of an accessory structure as a principal dwelling after a catastrophe						4.4.3.B(2)(j)
	Tent	P	P	P	P		4.4.3.B(2)(k)
	Vendor or produce stand	P	P	P	P		4.4.3.B(2)(l)



# Article 5: Development Standards



## **ARTICLE 5: DEVELOPMENT STANDARDS ..... 5-1**

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# ARTICLE 5: DEVELOPMENT STANDARDS

## 5.1 PARKING, LOADING, AND BICYCLE STANDARDS

### 5.1.1. PURPOSE

The purpose of this section is to reduce hazards to public safety and to ensure efficient traffic flow by establishing standards for motor vehicle parking, off-street loading areas, and bicycle parking. For the purpose of applying and enforcing this Ordinance, "parking" shall refer to both motor vehicle parking and loading as well as parking for bicycles.

### 5.1.2. APPLICABILITY

#### A. GENERAL

Unless exempted in accordance with Section 5.1.2.B, Exemptions, the standards of this section shall apply to all development.

#### B. EXEMPTIONS

##### (1) Pre-Existing Buildings

- (a) In order to encourage the re-use of older, pre-existing buildings, a use operating or proposed to operate in such a building shall be considered to have one parking space for each 300 square feet of gross area inside the building minus the total number of existing parking spaces, if any, that actually exist on the site when all of the criteria are met:
  - (i) The most recent use of the building was lawfully established prior to March 3, 1992;
  - (ii) The building is located on a property within the Downtown, Traditional, or Coastal character district; and
  - (iii) The building serves a non-residential use.
- (b) For pre-existing buildings located within the Downtown, Traditional or Coastal character districts, no parking shall be required for changes of use to one of the following uses:
  - (i) Any use within the Retail Sales and Service Uses category or
  - (ii) Any restaurant with an occupant load of less than 50 people.

##### (2) Zoning Lots Less Than or Equal To 2,500 Square Feet

For zoning lots of less than or equal to 2,500 square feet no parking shall be required when all criteria are met:

- (a) The building is less than 2,000 square feet and
- (b) The use is for a commercial or office use.



## **Article 5: Development Standards**

### **5.1 Parking, Loading, and Bicycle Standards**

#### **5.1.3 Timing of Review**

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##### **(3) Change of Use to Another Use with an Equal or Lesser Parking Requirement**

No additional parking shall be required for existing buildings when a use changes to another use with an equal or lesser parking requirement as per Table 5.1.7(D), Minimum Number of Parking Spaces.

##### **(4) Effect on other parking regulations**

All requirements and provisions of this section shall apply to grandfathered uses, incorporating to the numerical adjustment set forth above.

##### **(5) Existing Facilities**

Any improved portion of a zoning lot that has been used continuously to provide parking for a use which was lawfully established prior to March 3, 1992, shall not be reduced in area or dimension unless fully compliant with this Ordinance.

#### **5.1.3. TIMING OF REVIEW**

Review for compliance with the standards of this section shall occur during review of a development application for either a conditional rezoning (see Section 2.4.4, Conditional Rezoning), planned development (see Section 2.4.5, Planned Development District), conditional use (see Section 2.4.6, Conditional Use Permit), site plan (see Section 2.4.16, Site Plan), or Zoning Certificate (see Section 2.4.12, Zoning Certificate), as appropriate.

#### **5.1.4. CONFLICT**

In the event there is any conflict between the parking standards in this section and parking standards in a base zoning district or overlay district, the standards of the specific zoning district or overlay district shall control.

#### **5.1.5. PARKING PLAN**

In the event that the ZA determines that the evaluation of compliance with the parking standards requires a parking plan, development shall not commence until a plan, drawn to scale and showing parking facilities and spaces, is provided and determined to comply with the requirements of this section and this Ordinance.

#### **5.1.6. GENERAL STANDARDS FOR PARKING AND LOADING AREAS**

##### **A. GENERAL**

Off-street parking areas required by this section shall be used solely for the parking of licensed motorized vehicles in operating condition. Required parking spaces and loading berths may not be used for the display or storage of goods for sale (except that farmers' markets and licensed approved mobile vendors may be permitted to operate within parking areas), or the sale, lease, storage, dismantling, or service of any vehicles, boats, motor homes, campers, mobile homes, building materials, equipment, or supplies).

## **B. IDENTIFIED AS TO PURPOSE AND LOCATION**

Off-street parking areas of three or more spaces and all off-street loading areas shall include painted lines, wheel stops, or other methods of identifying individual parking spaces and loading berths and distinguishing such spaces or berths from aisles.

## **C. MULTIPLE USES ON SAME ZONING LOT**

Unless otherwise expressly stated in other provisions in this Ordinance, when computing the number of parking spaces required on a lot with more than one use, the total number of required spaces shall be the sum of the number of parking spaces required for each use evaluated individually, including any adjustments made under the alternative parking provisions of Section 5.1.7.C, Alternative Parking.

## **D. RESIDENTIAL GARAGE**

For all single-family residential uses in which one or more garage spaces are provided, all spaces located inside the garage shall only be considered to accommodate one required motor vehicle parking space.

## **E. FRACTIONAL SPACES**

When determination of the number of parking or loading spaces required by this Ordinance results in a fractional number, any fraction shall be rounded to the nearest whole number.

## **F. SURFACING**

### **(1) General**

All parking and off-street loading areas shall be surfaced with asphalt, concrete, brick, stone, pavers, or an equivalent hard, dustless, and bonded surface material, as appropriate for the location. Use of surfacing that includes recycled materials (e.g., glass, rubber, used asphalt, brick, block, and concrete) is encouraged in the appropriate locations. These surfaces shall be maintained in a smooth, well-graded, clean, orderly, and dust-free condition, and be certified by a design professional as capable of accommodating anticipated traffic loading stresses and maintenance impacts or as approved by the Director of Public Works.

### **(2) Pervious or Semi-Pervious Surfacing**

The use of pervious or semi-pervious parking lot surfacing materials—including, but not limited to—pervious asphalt and concrete, open joint pavers, and reinforced grass/gravel/shell grids may be approved for off-street parking and loading areas except on industrial and other sites where there is reasonable expectation that petroleum and other chemical products will be spilled, and provided such surfacing is subject to an on-going maintenance program (e.g., sweeping, annual vacuuming). Any pervious or semi-pervious surfacing used for aisles within or driveways to parking and

## Article 5: Development Standards

### 5.1 Parking, Loading, and Bicycle Standards

#### 5.1.6 General Standards for Parking and Loading Areas

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loading areas shall be certified by a design professional as capable of accommodating anticipated traffic loading stresses and maintenance impacts or as approved by the Director of Public Works. Where possible, such materials should be used in areas proximate to and in combination with on-site stormwater control devices (see Figure 5.1.6(A), Use of Pervious Materials in a Parking Lot).

*Figure 5.1.6(A): Use of Pervious Materials in a Parking Lot*

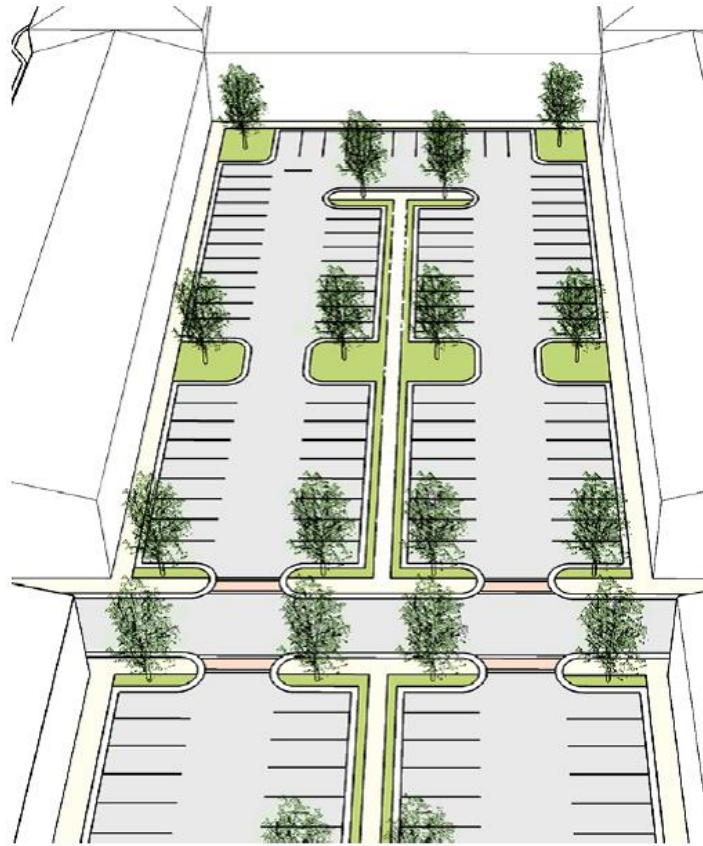


## G. LOCATION AND ARRANGEMENT

### (1) Safe and Convenient Access

- (a) To the extent possible, pedestrian walkways shall be provided from the off-street parking to the building and right of way.
- (b) Off-street parking and loading areas shall be arranged and designed for convenient and safe access for pedestrians from the off-street parking spaces to the entrance to buildings on the site (see Figure 5.1.6B), Provision of Pedestrian Walkways in a Parking Lot). To the extent possible, pedestrian walkways within parking areas shall maintain a level path through use of speed tables and other similar physical features when the walkways must cross vehicular ways or access points.

*Figure 5.1.6(B): Provision of Pedestrian Walkways in a Parking Lot*



- (c) Except for parking areas serving single-family detached, two-family, townhouse, and manufactured home dwellings, off-street parking areas shall be arranged so no parking or maneuvering incidental to parking shall occur on a public street or sidewalk.
- (d) Except for off-street parking areas serving single-family detached, two-family, townhouse, and manufactured home dwellings, off-street parking areas shall be arranged so an automobile may be parked or un-parked without moving another automobile, unless within an automated or mechanical parking deck or garage or part of valet or tandem parking in accordance with Section 5.1.7.C, Alternative Parking.
- (e) Off-street loading areas shall be arranged so no loading berth extends into the required aisle of a parking lot.

## H. ACCESSIBLE PARKING FOR PHYSICALLY HANDICAPPED

A portion of the total number of required parking spaces in a development shall be specifically designated, located, and reserved for use by persons with physical disabilities, in accordance with the standards in the Federal Americans with Disabilities Act Accessibility Guidelines.

**I. MAINTAINED IN GOOD REPAIR**

All parking and off-street loading areas, including those areas with pervious or semi-pervious parking lot surfacing materials (see Section 5.1.6.F, Surfacing), shall be subject to an on-going maintenance program, and maintained in safe condition and good repair at all times so as not to constitute a hazard to public safety or a visual or aesthetic nuisance to surrounding land. All signage and pavement markings shall also be maintained.

**J. MAXIMUM MOTOR VEHICLE PARKING**

In order to minimize the adverse impacts caused by improving large areas with impervious surfaces, including increased storm water run-off, urban heat island effects, and nonpoint source pollution, the total number of motor vehicle parking spaces serving a commercial use shall not exceed 125 percent of the minimum parking standards in Table 5.1.7, Minimum Number of Parking Spaces, unless either of the following apply:

- (1) Any spaces in excess of 125 percent of the minimum number required are located in a structured parking facility; or
- (2) An alternative landscape plan that provides additional pervious landscape surfaces and increases stormwater filtration has been reviewed and recommended by the Department of Recreation, Parks and Open Space and the Department of Public Works, and approved by the ZA, subject to Section 5.2, Landscaping Standards, and Section 5.4, Screening.

**K. REDUCTION FOR PROXIMITY TO LIGHT RAIL TRANSIT (LRT)**

For any non-residential use located within 1,500 feet of a LRT station, the required number of parking spaces determined under Table 5.1.7, Minimum Number of Parking Spaces, shall be reduced by 25 percent. This reduction shall not apply in Transit Oriented Development (TOD) zoning district.

**5.1.7. MOTOR VEHICLE PARKING DESIGN STANDARDS**

**A. LOCATIONAL STANDARDS**

- (3) For any residential use, motor vehicle parking and maneuvering areas shall not be located in any required yard adjacent to a public street except in an access/driveway that complies with the provisions of Section 5.1.7.B, Design Standards for Parking Areas, or as allowed in Section 5.1.7.C, Alternative Parking.
- (4) For all uses other than residential, all surface motor vehicle parking and maneuvering areas shall be located as follows:
  - (a) In the Suburban and Coastal Character Districts, parking shall not be located in any required yard adjacent to a public street, any required buffer yard, or any open space.

- (b)** In the Downtown and Traditional Character District, parking shall comply with the following standards:
  - (i)** At least 50 percent of all required parking shall be located to the side or rear of buildings.
  - (ii)** No parking shall be located in any required buffer yard or any open space.
  - (iii)** If parking is located within 10 feet of the right-of-way, a solid wall not less than two and a half feet in height shall be located along the parking areas adjacent to the street, or a fence with additional landscaping shall be approved as part of an alternative landscape plan. This screening shall be in addition to the standards in Section 5.2, Landscaping Standards, and Section 5.4, Screening.

## **B. DESIGN STANDARDS FOR PARKING AREAS**

### **(1) Single-family Dwellings**

Parking areas for all single-family detached dwellings shall comply with the following standards.

- (a)** Surfacing of parking areas, driveways, and accesses shall be designed to maintain proper drainage, shall consist of an improved hard surface, and shall not include gravel, dirt, or sand.
- (b)** Any improved hard surface used for parking or maneuvering a vehicle and which is located in any required yard abutting a public street shall be limited to a driveway or access installed generally perpendicular to the abutting street. The width and number of such driveways or accesses per zoning lot shall be limited as follows:
  - (i)** In the Suburban and Coastal Character Districts, on lots at least 100 feet wide:
    - (A)** No more than two driveways or accesses, with a maximum width of 20 feet each, which shall be located on separate streets; or
    - (B)** No more than two, with a maximum width of 20 feet each, if located on the same street and separated by at least 50 feet of street frontage.
  - (ii)** In the Suburban and Coastal Character Districts, on lots at least 75 feet, but less than 100 feet wide:
    - (A)** No more than two driveways or accesses, with a maximum width of 20 feet each, which are located on separate streets; or
    - (B)** No more than two, with a maximum width of 10 feet each, if located on the same street and separated by at least 25 feet of street frontage.

## **Article 5: Development Standards**

### **5.1 Parking, Loading, and Bicycle Standards**

#### **5.1.7 Motor Vehicle Parking Design Standards**

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- (iii)** In the Suburban and Coastal Character Districts, on lots at least 40 feet but less than 75 feet wide:
  - (A)** No more than one driveway or access, with a maximum width of 20 feet;
  - (B)** No more than two, with a maximum width of 10 feet each, if located on separate streets; or
  - (C)** No more than two, with a maximum width of 10 feet each, if located on the same street and separated by at least 15 feet of street frontage.
- (iv)** On all lots in the Traditional and Downtown Character Districts:
  - (A)** No more than one driveway or access, with a maximum width of 20 feet;
  - (B)** No more than two, with a maximum width of 10 feet each, if located on separate streets; or
  - (C)** No more than two, with a maximum width of 10 feet each, if located on the same street and separated by at least 15 feet of street frontage.
- (v)** On lots at least 30 feet but less than 40 feet wide, no more than one driveway or access, with a maximum width of 10 feet.
- (vi)** On lots less than 30 feet wide:
  - (A)** For a corner lot, no more than one driveway or access, with a maximum width of 10 feet, is allowed if located along the longest street frontage and not in the front yard; and
  - (B)** For all other lots, no more than one driveway or access is allowed, with a maximum width of 10 feet.

#### **(2) Townhouses, Two-family, and Single-family Semi-detached Dwellings**

All design standards applicable to parking areas, driveways, and accesses for single-family semi-detached dwellings established in Section 5.1.7.B(1), Single-Family Dwellings, shall apply to townhouse, two-family, and single-family semi-detached dwellings. In addition, the following standards for parking areas shall also apply.

- (c)** In the Traditional and Downtown Character Districts, no driveway, access, or parking area shall be provided between the street and the building.
- (d)** In the Suburban and Coastal Character Districts, no parking shall be provided anywhere in the front yard of a townhouse, two-family, or single-family semi-detached dwelling, except upon consideration and approval of a Conditional Use Permit requesting an increase in the maximum dimensions for the required front yard in accordance with Section 2.4.6, Conditional Use Permit.



**(3) Multi-family Buildings**

- (a)** In the Downtown and Traditional Character Districts, parking areas for all multi-family buildings shall comply with the following standards.
  - (i)** At least 50 percent of all required parking shall be located to the side or rear of buildings.
  - (ii)** No parking shall be located in any required buffer yard or any open space.
  - (iii)** Parking shall not be located in any way that is visible from a public street except when a solid wall not less than two and a half feet in height is located along the parking areas visible from the street to appropriately screen views of parked cars from the street. This additional screening shall be installed in addition to the landscape requirements in Section 5.2, Landscaping Standards.
- (b)** In the Suburban and Coastal Character Districts, parking areas for all multi-family buildings shall comply with the following standards.
  - (i)** At least 30 percent of all required parking shall be located to the side or rear of buildings.
  - (ii)** No parking shall be located in any required buffer yard or any open space.
  - (iii)** If parking is located within 10 feet of the right-of-way, a solid wall not less than two and a half feet in height shall be located along the parking area to appropriately screen views of parked cars from the street. This additional screening shall be installed in addition to the landscape requirements in Section 5.2, Landscaping Standards.

**(4) Landscaping**

Landscaping and screening of parking areas shall comply with the standards in Section 5.2, Landscaping Standards, and Section 5.4, Screening.

**(5) Lighting**

Lighting shall comply with the standards of Section 5.8, Exterior Lighting.

**(6) Dimensions of Parking Spaces**

- (a)** All minimum requirements as to size, angle, and placement of parking spaces located on surface lots shall comply with the requirements in Table 5.1.7(A), Standard Parking Space Dimensional Standards, Table 5.1.7(B), Compact Parking Space Dimensional Standards, and Figure 5.1.7, Minimum Parking Space Dimensions, below, unless alternative parking dimensions indicated on a parking plan designed and sealed by a professional engineer are approved by the Director of Public Works.

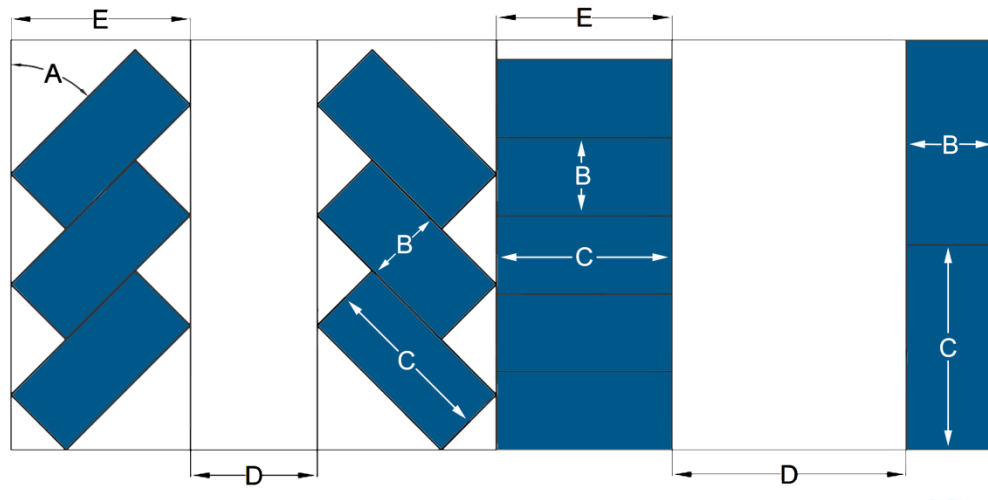
**Article 5: Development Standards****5.1 Parking, Loading, and Bicycle Standards****5.1.7 Motor Vehicle Parking Design Standards****TABLE 5.1.7.B(6)(A): STANDARD PARKING SPACE DIMENSIONAL STANDARDS**

<b>PARKING ANGLE (A)</b>	<b>STALL WIDTH (B)</b>	<b>STALL DEPTH (C)</b>	<b> AISLE WIDTH (PARKING ON ONE SIDE) (D)</b>	<b> AISLE WIDTH (PARKING ON BOTH SIDES) (D)</b>	<b>STALL DISTANCE (CURB TO AISLE) (E)</b>
0°	9.0'	21.0'	12.0' (one-way) 20.0' (two-way)	12.0' (one-way) 20.0' (two-way)	9.0'
45°	8.0'	18.0'	13.0' (one-way)	13.0' (one-way)	18.4'
60°	8.0'	18.0'	18.0' (one-way)	18.0' (one-way)	19.6'
70°	8.0'	19.0'	20.0' (one-way)	20.0' (one-way)	20.6'
90°	8.0'	18.0'	22.0' (two-way)	24.0' (two-way)	18.0'
NOTES: Labels in ( ) correspond to Figure 5.1.7.B, Minimum Parking Space Dimensions.					

**TABLE 5.1.7.B(6)(B): COMPACT PARKING SPACE DIMENSIONAL STANDARDS**

<b>PARKING ANGLE (A)</b>	<b>STALL WIDTH (B)</b>	<b>STALL DEPTH (C)</b>	<b> AISLE WIDTH (PARKING ON ONE SIDE) (D)</b>	<b> AISLE WIDTH (PARKING ON BOTH SIDES) (D)</b>	<b>STALL DISTANCE (CURB TO AISLE) (E)</b>
0°	8.5'	18.0'	11.0' (one-way) 20.0' (two-way)	11.0' (one-way) 20.0' (two-way)	8.5'
45°	7.5'	16.5'	12.0' (one-way)	12.0' (one-way)	17.0'
60°	7.5'	16.5'	16.0' (one-way)	16.0' (one-way)	18.0'
70°	7.5'	17.0'	18.0' (one-way)	18.0' (one-way)	18.5'
90°	7.5'	16.5'	19.0' (two-way)	21.0' (two-way)	16.5'
NOTES: Labels in ( ) correspond to Figure 5.1.7.B, Minimum Parking Space Dimensions.					

Figure 5.1.7: Minimum Parking Space Dimensions



- (b) The minimum dimensional requirements of parking spaces in a particular structured parking facility and shown on a parking plan designed and sealed by a professional engineer shall be established by the Director of Public Works.
- (c) Any parking area may include spaces designed for compact vehicles, if the applicant provides a parking study prepared by a traffic engineer licensed to practice in the Commonwealth that demonstrates the compact parking spaces are appropriately integrated into the parking area and there is a reasonable expectation the compact spaces will be used. In all instances:
  - (i) No more than 15 percent of the number of minimum required parking spaces may be satisfied by providing compact spaces;
  - (ii) Compact spaces shall be located only at the ends of parking rows with no more than two compact spaces placed side-by-side; and
  - (iii) Each compact space shall be clearly identified with markings placed on the surface of the parking space and with a sign restricting it for compact vehicles only.

#### (7) Stacking Spaces

For all of the following uses, space sufficient to accommodate the number of stacking spaces identified in Table 5.1.7(C), Required Stacking Spaces for Certain Uses, shall be provided.

## Article 5: Development Standards

### 5.1 Parking, Loading, and Bicycle Standards

#### 5.1.7 Motor Vehicle Parking Design Standards

TABLE 5.1.7(C): REQUIRED STACKING SPACES FOR CERTAIN USES	
USE TYPE	REQUIRED NUMBER OF STACKING SPACES
Automated teller machine	3 starting at the teller machine
Bank teller lane	3 starting at the teller window/tube
Dry-cleaning/Laundry, with Drive-Through	3 starting at drive-through window
Pharmacy, with Drive Through	3 starting at the first drive-through window
Restaurant or Fast Food Restaurant, with Drive Through	6 starting at the order box/speaker, and 4 between the order box/ speaker and the pickup window
Gas station	1 at each end of the outermost gas pump island
Automatic car wash and auto detailing	3 starting at the bay entrance
Car wash and auto detailing	2 starting at the bay entrance
All personal services uses, with drive-through	3 starting at the drive-through window
Other	To be determined by ZA, based on standards for comparable uses, or alternatively based on a parking demand study prepared by a registered engineer having expertise in transportation engineering

#### (8) Design and Layout

Required stacking spaces are subject to the following design and layout standards:

- (a) Stacking spaces shall be a minimum of 8 feet wide and 18 feet long;
- (b) Stacking spaces shall not impede onsite or offsite vehicular traffic movements or movements into or out of off-street parking spaces;
- (c) Stacking spaces shall not impede onsite or offsite bicycle or pedestrian traffic movements; and
- (d) Stacking spaces shall be separated from other internal driveways by raised medians if necessary for traffic movement and safety.

#### C. ALTERNATIVE PARKING

The ZA is authorized to approve an alternative parking plan that proposes alternatives to providing the minimum number of parking spaces required by Table 5.1.7(D), Minimum Number of Parking Spaces, in accordance with the standards of this subsection. In order to utilize any of these forms of alternative parking, an alternative parking plan designed by a design professional shall be

submitted to the ZA for review, and will not be effective until the ZA approves the plan in accordance with the standards of this subsection.

**(1) Off-Lot Parking**

- (a)** Required parking may be provided on a lot other than the lot upon which the use is located if the off-lot parking:
  - (i)** Is located no more than 500 feet from the land upon which the use is located, measured along a convenient pedestrian route;
  - (ii)** No more than 50 percent of the required parking spaces are provided through off-lot parking;
  - (iii)** Evidence is provided there is a convenient, safe and adequate pedestrian walkway from the off-lot to the use, that is well marked and does not cross an arterial street except at a signalized intersection or an intersection with a crosswalk;
  - (iv)** A legal right to use the off-lot parking area is demonstrated, secured either by deed, long-term lease, or other documentation of sufficient license or possessory interest; and
  - (v)** An agreement is signed between the landowner of the land subject to the off-lot parking arrangement, the owner of the land on which the off-lot parking is being provided (if it is not owned by the owner of the land subject to the off-lot arrangement), and the city.
    - (A)** The agreement shall provide the landowner of the land subject to the off-lot parking arrangement the right to use of the off-lot parking site for at least 15 years, and shall ensure that as long as the off-lot parking is needed to comply with this Ordinance, the off-lot parking will be available (or a comparable alternative site provided).
    - (B)** The agreement shall be submitted to the ZA for review and approval.
    - (C)** A copy of the parking agreement shall be kept on file with the Department of City Planning.
    - (D)** A violation of the agreement shall constitute a violation of this Ordinance, which may be enforced in accordance with Article 7, Enforcement.
- (b)** If an application for alternative parking at an off-lot location is denied by the ZA, or the alternative parking is located more than 500 feet from the land upon which the use is located (measured along a convenient pedestrian walkway), the applicant may request approval for off-lot parking through approval of a conditional use in accordance with Section 2.4.6, Conditional Use Permit.

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- (c)** No use served by off-lot parking may be continued if the off-lot parking becomes unavailable to the use, unless substitute parking spaces are provided in accordance with this section.

#### **(2) Shared Parking**

An applicant may use an alternative parking plan to meet a portion of the minimum number of parking spaces required in Table 5.1.7(D), Minimum Number of Parking Spaces, for that use through sharing parking with other existing uses. Such use of shared parking shall be allowed in accordance with the following standards:

- (a)** Up to 75 percent of the number of parking spaces required for the use may be shared with other uses, provided that parking demands do not overlap.
- (b)** Shared parking spaces shall be located within a maximum walking distance of 750 feet of the primary pedestrian entrances to the uses served by the parking.
- (c)** Adequate and safe pedestrian access via a walkway protected by landscape buffer or a curb separation and elevation from the street grade shall be provided between the shared parking areas and the primary pedestrian entrances to the uses served by the parking. To the extent possible, the walkway shall provide a level path along its entire length by utilizing speed tables or similar features for crossing vehicular paths.
- (d)** Signage complying with the standards in Section 5.7, Signs, shall be provided to direct the public to the shared parking spaces.
- (e)** The alternative parking plan shall include justification of the feasibility of shared parking among the proposed uses. Such justification shall address, at a minimum, the size and type of the uses proposed to share off-street parking spaces, the composition of their tenants, the types and hours of their operations, the anticipated peak parking and traffic demands they generate, and the anticipated rate of turnover in parking space use.

#### **(3) Deferred Parking**

An alternative parking plan may propose to defer construction of up to 25 percent of the number of off-street parking spaces required by Table 5.1.7(D), Minimum Number of Parking Spaces, in accordance with the following standards.

- (a)** The alternative parking plan shall include a study demonstrating that because of the location, nature, or mix of uses, there is a reasonable probability the number of parking spaces actually needed to serve the development is less than the minimum required by Table 5.1.7(D), Minimum Number of Parking Spaces.

- (b)** The alternative parking plan shall include a reserve parking plan identifying: (a) the amount of off-street parking being deferred, and (b) the location of the area to be reserved for future parking, if future parking is needed.
- (c)** Areas reserved for future parking shall be brought to the finished grade and shall not be used for buildings, storage, loading, required landscaping, required open space set-asides, required stormwater management, or to comply with any requirements of this Ordinance. Such area may be used for temporary overflow parking, provided such use is sufficiently infrequent to ensure maintenance of its ground cover in a healthy condition.
- (d)** Areas reserved for future parking spaces shall be landscaped with an appropriate ground cover, and if ultimately developed for parking, shall be landscaped in accordance with Section 5.2, Landscaping Standards, and Section 5.4, Screening.
- (e)** The alternative parking plan shall provide assurance that within 24 months after the initial Certificate of Occupancy is issued for the proposed development, a parking demand study evaluating the adequacy of the existing parking spaces in meeting the parking demand generated by the development will be submitted to the ZA.

If the ZA determines that the study demonstrates the existing parking is adequate, then construction of the remaining number of parking spaces shall not be required. If the ZA determines the study indicates additional parking is needed, such parking shall be provided consistent with the reserve parking plan and the standards of this section.

- (f)** An approved deferred parking arrangement shall be enforced through written agreement between the landowner of the land subject to the deferred parking arrangement and the city. The agreement shall ensure compliance with the requirements of this subsection and any other conditions of approval required by the city to ensure the deferred parking arrangement and subsequent parking demand study will be adequately carried out.

#### **(4) Valet Parking**

An alternative parking plan may propose to use valet parking to meet a portion of the minimum number of parking spaces required for a development in accordance with the following standards.

- (a)** Any parking spaces that do not comply with the minimum parking space dimensional requirements established in Table 5.1.7(A), Standard Parking Space Dimensional Standards, Table 5.1.7(B), Compact Parking Space Dimensional Standards, and Figure 5.1.7, Minimum Parking Space Dimensions, may be allowed if such spaces are reserved for valet parking, if they comply with the following:



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- (i) The parking area is marked with signage indicating that it is reserved exclusively for valet parking; and
  - (ii) A parking attendant is present at the site during all times that the use served by the valet parking area is operating.
- (b) Commercial uses may be approved for valet parking if they comply with the following standards.
  - (i) No more than 35 percent of the total number of parking spaces provided shall be designated for valet spaces except for restaurants, where up to 50 percent of spaces may be designated for valet parking, and hotels, where up to 60 percent of parking spaces may be designated for valet parking.
  - (ii) The development shall provide a designated drop-off and pick-up area. The drop-off and pick-up area may be located adjacent to the building served, but may not be located in a fire lane or where its use would impede vehicular and/or pedestrian circulation or cause queuing in a public street or an internal drive aisle serving the development. Drop-off and pick-up areas will not be allowed in moving vehicle and bicycle travel lanes in the public right-of-way without obtaining approval from the Department of Public Works. Drop-off and pick-up areas will not be allowed to use sidewalks for any stationing of vehicles.
  - (iii) Valet parking may be established and managed only in accordance with a valet parking agreement. The agreement shall be submitted to the ZA, who shall review approve the agreement. A violation of the agreement shall constitute a violation of the Ordinance, which may be enforced in accordance with Article 7, Enforcement.
  - (iv) No use served by valet parking may be continued if the valet service becomes unavailable, unless substitute off-street parking spaces are provided in accordance with this section.

#### **(5) Parking and Maneuvering Within Yards Adjacent to a Street**

An alternative parking plan may propose to increase the parking and maneuvering area of single-family detached and other existing residential uses by up to 130 square feet above that allowed by Section 5.1.7.B, Design Standards for Parking Areas, if the alternative parking plan complies with the following standards:

- (a) Safe back-up maneuvering is impaired on the site due to any of the following factors:
  - (i) The speed limit on the road abutting the access driveway is 35 miles per hour or greater;
  - (ii) There is unusually heavy or frequent traffic along the road abutting the access driveway;

- (iii) The geometry of the approaches to the point where the driveway accesses the abutting road; or
      - (iv) A recommendation of the Department of Public Works, based on concerns about public safety.
  - (b) The additional parking and maneuvering area shall be located a minimum of six feet from the property line abutting the street;
  - (c) The additional parking and maneuvering area shall be screened with landscape plantings at least two and one-half feet in height; and
  - (d) The additional parking and maneuvering area shall be installed so that storm water runoff is properly managed and does not drain onto adjacent lands.

**(6) Single-Family Detached Driveways and Accesses**

On lots more than 60 feet in width within the Suburban Character District, driveways and accesses may be as wide as 40% of the lot width at the right-of-way, provided that the expansion of the driveway does not remove any existing trees within the right-of-way.

**(7) Transportation Demand Management**

The ZA may, through approval of an alternative parking plan and transportation demand management plan (TDM plan), authorize up to a 30 percent reduction in the minimum number of off-street parking spaces required for non-residential or mixed-use developments having a floor area of at least 25,000 square feet, in accordance with the following standards.

**(a) TDM Plan Requirements**

The TDM plan shall include facts, projections, an analysis (e.g., type of development, proximity to transit and/or other multi-modal systems, anticipated number of employees and/or patrons, minimum parking requirements), and indicate the types of transportation demand management activities that will be instituted to reduce single-occupant vehicle use and reduce traffic congestion. The plan shall identify the amount by which parking requirements have been reduced from the amounts otherwise required by this section.

**(b) Transportation Demand Management Activities**

The TDM plan shall be required to provide the following transportation demand management activities:

- (i) A Guaranteed Ride Home program that offers emergency ride services to each employee with an allowance of no fewer than four rides per year, which an applicant may establish to serve the development or in partnership with other developments or uses.
- (ii) Written disclosure of transportation information and educational materials to all employees, that makes transportation and ride-

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sharing information available to employees, residents, and nonresidents. This does not need to be a unique role and may be met by human resources officers or other administrators of an organization.

- (iii) Formation of transportation demand reduction programs such as carpooling, vanpooling, ridesharing, subsidy of employee transit passes beyond standard tax credits already provided by State and Federal governments, teleworking, and shuttle service programs.

#### **(c) Two Transportation Demand Management Options Required**

The plan will also require two of the following transportation demand management strategies.

- (i) Establishment of a development-specific website that provides multi-modal transportation information such as real-time travel/traffic information, transit schedules, bus schedules and maps, and logging of alternative commutes (e.g., bicycle, pedestrian, carpool, and vanpool). Specific information will vary depending on the specific services and transportation infrastructure available in the vicinity of the development, but in general will allow tenants or customers to compare travel modes available.
- (ii) In-lieu of the website described in subsection (c)(i), above, installation of a real-time visual display screen or other display device of this type that provides multi-modal transportation information.
- (iii) Parking cash-out or transportation stipend, or provision of a cash incentive to employees not to use parking spaces otherwise available to tenants of a development.
- (iv) Unbundling of parking from leases, or issuing tenant leases that do not include parking as an integral part of a floor-area space lease and require parking to be leased, purchased, or otherwise accessed through separate payment.
- (v) Creation of a Preferential Parking Management Plan that specifically marks spaces for registered carpool and/or vanpool vehicles that are located near building entrances or in other preferential locations.
- (vi) Institution of off-peak work schedules that allow employees to arrive and depart at times other than the peak morning commute period (defined as 7:00 a.m. to 9:00 a.m.) and peak evening commute period (defined as 5:00 p.m. to 7:00 p.m.).
- (vii) Any other transportation demand management activity as may be approved by the ZA as a means of complying with the parking reduction provisions of this subsection.

**(d) Recording of TDM Plan**

A copy of the approved TDM plan shall be recorded before issuance of a building permit for the development to be served by the plan. The TDM plan shall be kept on file with the Department of City Planning.

**(e) TDM Program Coordinator**

- (i)** The applicant shall appoint a TDM program coordinator to oversee transportation demand management activities.
- (ii)** The TDM program coordinator shall be an engineer licensed by the Commonwealth, certified planner, or a traffic consultant that is also a qualified or trained TDM professional.
- (iii)** The TDM program coordinator shall be appointed prior to issuance of a Certificate of Occupancy for the buildings to be served by the transportation demand management program.

**(f) TDM Report**

The TDM program coordinator shall submit to the ZA a report on a biennial basis that details implementation of the approved TDM plan and how it has successfully met the target reduction in drive-alone trips that justified the original reduction in parking because of its effectiveness in reducing driving demand, in turn reducing the need for parking. The report may include, but is not limited to, the following:

- (i)** A description of transportation demand management activities undertaken;
- (ii)** An analysis of parking demand reductions based on employee and/or resident use of ridership programs or alternative transportation options; and
- (iii)** Changes to the TDM plan to increase transit ridership, bicycle ridership, and other commuting alternatives.

**(g) Amendments**

The ZA may approve amendments to an approved TDM plan in accordance with the procedures and standards for its original approval. Changes in transportation options subsequent to the approval of the original plan that allow a development to meet the reduction targets identified in the original plan, such as introduction of new transit service to a development area, shall not require amendments to the plan as long as annual reports can demonstrate that these services are contributing to the plan's intent.

**(h) Parking Required if TDM Terminated**

If the applicant or successors in interest in the development subject to a TDM plan stop implementing the plan or fail to submit a TDM report within one year of the regularly scheduled date the biennial report is

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due, the TDM plan shall be terminated and become null and void. Any such termination of the TDM plan does not negate the parties' obligations to comply with parking requirements of this Section and this Ordinance, and thus shall constitute a violation of this Ordinance. No use served by the TDM plan may be continued unless another TDM plan is approved or all required off-street parking spaces are provided in accordance with this section and this Ordinance, within 120 days of termination of the TDM plan.

#### **(8) Site-Specific Parking Study**

In lieu of full compliance with the numerical and arrangement standards for motor vehicle and bicycle parking (see Section 5.1.9, Bicycle Parking) in this Ordinance, the number of spaces required for the use may be determined by a site-specific parking study that is prepared by a qualified transportation planning professional and is approved by the ZA.

##### **(a) Report Requirements**

No special parking study shall be considered or approved unless it contains all of the following information:

- (i)** An analytical study of the actual off-street vehicular parking and loading demands of similar uses recently operating in the vicinity of the location of the proposed use or in another location that is demonstrated to be functionally comparable to the location of the proposed use, including comparisons and references to the relevant provisions of the most recent edition of the Institute of Transportation Engineers (ITE) Parking Generation report (or comparable report approved in advance by the ZA) and a description of when the operation of the proposed use will require the specified amounts of parking each hour of the day and each day of the week.
- (ii)** Schematic exhibits, drawn to scale and with accompanying written information, showing the specific locations and dimensions of all parking spaces, including any compact car spaces, the use of valet parking, off-lot parking located within a reasonable distance of the site, any use of shared parking, all driveways and drive aisles, all methods of circulation (including bicycle and pedestrian circulation), and the means by which all circulation will be managed.
- (iii)** Any construction of an "overflow" parking lot, including features such as grid pavers that allow grass to grow within the paver voids, landscaping, and any temporary improvements to be made during times when the lot is in use, such as accessory buildings, lighting, circulation controls, and drive aisle dividers.
- (iv)** If the site-specific parking study is used to modify the otherwise applicable parking requirements (see Section 5.1.9, Bicycle Parking)

for bicycles or includes Transportation Demand Management techniques, an analysis of the bicycle parking needs of the site shall be included. Such bicycle parking analysis shall be based on the current edition of "Bicycle Parking Guidelines" prepared by the Association of Pedestrian and Bicycle Professionals.

- (v) The professional qualifications and experience of the preparer of the study.

**(b) Standards for Approval**

The site-specific parking study shall only be approved if the ZA determines that it sufficiently satisfies all of the following standards:

- (i) The preparation and submittal requirements of subsection (8)(a), above, are fully met.
- (ii) The study does not contain any erroneous assumptions nor any computational or analytical mistakes.
- (iii) Reductions in bicycle parking from the minimum number that would otherwise be computed under the classifications and formulae set forth in Table 5.1.9, Minimum Number of Bicycle Parking Spaces, shall separately consider short-term and long-term bicycle parking needs and generally shall not reduce the amount of long-term bicycle parking.
- (iv) Bicyclists and pedestrians are safely and conveniently accommodated within and through areas that are designated for vehicular parking.
- (v) Traffic flows on adjacent public streets will not be impeded if the reduction in parking spaces or alternative parking arrangements proposed in the site-specific study are implemented in lieu of the standardized requirements of Table 5.1.7(D), Minimum Number of Parking Spaces.

**(c) Limitations on Approved Site-Specific Parking**

- (i) Notwithstanding any proposal or recommendation in an approved site-specific study, the approved minimum number of required vehicular parking spaces shall never be less than 50 percent of the minimum number that would otherwise be computed under the classifications and formulae set forth in Table 5.1.7.D, Minimum Number of Parking Spaces.
- (ii) The reductions in required parking that might otherwise apply under Section 5.1.2.B, Exemptions, and Section 5.1.6.K, Reduction for Proximity to Light Rail Transit (LRT), shall not apply to any property for which a special parking study has been approved.

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#### **(9) Other Eligible Alternatives**

The ZA may authorize up to a 30 percent reduction in the minimum number of off-street parking spaces required by this section, if the applicant submits an alternative parking plan that:

- (a)** Demonstrates the demand for off-street parking on the site is less than that established by this section because of the site's location, its site design, proximity to transit, or other factors; or
- (b)** Proposes any other strategy that will effectively reduce parking demand on the site in a way that will do at least as good a job in protecting surrounding neighborhoods, maintaining traffic-circulation patterns, and promoting quality urban design as would strict compliance with the otherwise applicable off-street parking standards.

#### **D. MOTOR VEHICLE PARKING SPACE STANDARDS**

- (1)** Development or a change in use or expansion subject to the requirements of this section shall provide the minimum number of parking spaces in accordance with Table 5.1.7.D, Minimum Number of Parking Spaces, based on the principal use(s) involved and the extent of development. Interpretation of the parking space standards for unlisted uses is provided in Section 2.4.15, Interpretation.



**TABLE 5.1.7(D): MINIMUM NUMBER OF PARKING SPACES**

PRINCIPAL USE CATEGORY	PRINCIPAL USE TYPE	DOWNTOWN CHARACTER DISTRICT	TRADITIONAL CHARACTER DISTRICT	SUBURBAN CHARACTER DISTRICT	COASTAL CHARACTER DISTRICT
CONSERVATION AND OPEN SPACE USES					
Conservation and Open Space Uses	All Uses	Zoning Administrator			
RESIDENTIAL USES					
Household Living	Dwelling, live-work	2 per DU (1 per DU for adaptive reuse of existing buildings)	2 per DU	2 per DU	2 per DU
	Dwelling, manufactured home	1 per manufactured home	1 per manufactured home	1 per manufactured home	1 per manufactured home
	Dwelling, multi-family	1.5 per DU	1.6 per DU	1.75 per DU	1.75 per DU
	Dwelling, single-family detached	2 per DU (1 per DU for adaptive reuse of existing buildings)	2 per DU (1 per DU for adaptive reuse of existing buildings) (No parking required for lots less than 40 feet in width)	2 per DU (No parking required for lots less than 40 feet in width)	2 per DU (No parking required for lots less than 40 feet in width)
	Dwelling, single-family semi-detached	2 per DU	2 per DU	2 per DU	2 per DU
	Dwelling, townhouse	1.5 per DU	1.75 per DU	2.0 per DU	2.0 per DU
	Dwelling, two-family	2 per DU	2 per DU	2.5 per DU	2.5 per DU
Group Living Uses	Assisted housing	0.33 per DU	0.33 per DU	0.33 per DU	0.33 per DU
	Continuing care retirement community	0.5 per DU	0.5 per DU	0.5 per DU	0.5 per DU
	Fraternity or sorority house	2 per BDRM	2 per BDRM	2 per BDRM	2 per BDRM
	Nursing home	0.67 per DU	0.67 per DU	0.67 per DU	0.67 per DU
	Rooming house	1 plus 1 per BDRM	1 plus 1 per BDRM	1 plus 1 per BDRM	1 plus 1 per BDRM
	All other uses	Zoning Administrator			
PUBLIC, CIVIC, AND INSTITUTIONAL USES					
Community Service Uses	Broadcasting studio	1 per 1000 sf	1 per 500 sf	1 per 400 sf	1 per 200 sf
	Day care center, adult	1 plus 1 per 12 attendees	1 plus 1 per 12 attendees	1 plus 1 per 10 attendees	1 plus 1 per 10 attendees
	Day care center, child	1 per 330 sf	1 per 330 sf	1 per 250 sf	1 per 250 sf
	Hiring hall	1 per 65 sf assembly area	1 per 60 sf assembly area	1 per 60 sf assembly area	1 per 60 sf assembly area
	Hospital	1 per 300 sf	1 per 300 sf	1 per 250 sf	1 per 250 sf
	Hospice	1 per 300 sf	1 per 300 sf	1 per 250 sf	1 per 250 sf
	Membership organization	1 per 65 sf assembly area	1 per 60 sf assembly area	1 per 50 sf assembly area	1 per 50 sf assembly area
	Religious institution	1 per 65 sf assembly area	1 per 60 sf assembly area	1 per 50 sf assembly area	1 per 50 sf assembly area
Transportation and Utility Uses	All other uses	Zoning Administrator			
	Airport	N/A	N/A	1 per 500 sf plus 3 per bay	N/A
	Passenger terminal, surface transportation	1 per 600 sf *	1 per 300 sf *	1 per 250 sf *	1 per 250 sf *
	All other uses	Zoning Administrator			

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**TABLE 5.1.7(D): MINIMUM NUMBER OF PARKING SPACES**

PRINCIPAL USE CATEGORY	PRINCIPAL USE TYPE	DOWNTOWN CHARACTER DISTRICT	TRADITIONAL CHARACTER DISTRICT	SUBURBAN CHARACTER DISTRICT	COASTAL CHARACTER DISTRICT
<b>COMMERCIAL USES</b>					
<b>Eating and Drinking Uses</b>	After-hours membership establishment	1 per 65 sf assembly area	1 per 60 sf assembly area	1 per 50 sf assembly area	1 per 50 sf assembly area
	Banquet hall	1 per 250 sf enclosed building area	1 per 175 sf enclosed building area	1 per 150 sf enclosed building area	1 per 175 sf enclosed building area
	Catering establishment/ commercial kitchen	1 per 600 sf *	1 per 300 sf *	1 per 250 sf *	1 per 250 sf *
	Nightclub	1 per 250 sf enclosed building area	1 per 175 sf enclosed building area	1 per 150 sf enclosed building area	1 per 175 sf enclosed building area
	Production of craft beverages	1 per 850 sf production area plus 1 per 250 enclosed assembly area	1 per 850 sf production area plus 1 per 175 enclosed assembly area	1 per 850 sf production area plus 1 per 150 enclosed assembly area	1 per 850 sf production area plus 1 per 175 enclosed assembly area
	Restaurant	1 per 250 enclosed assembly area	1 per 175 enclosed assembly area	1 per 150 enclosed assembly area	1 per 175 enclosed assembly area
<b>Recreation Uses</b>	Arena, stadium, or amphitheater	1 per 12 seats *	1 per 6 seats *	1 per 5 seats *	1 per 5 seats *
	Cinema or theater	1 per 12 seats *	1 per 6 seats *	1 per 5 seats *	1 per 5 seats *
	Commercial recreation center	1 per 600 sf *	1 per 300 sf *	1 per 250 sf *	1 per 250 sf *
	Conference or training center	1 per 600 sf *	1 per 300 sf *	1 per 250 sf *	1 per 250 sf *
	Country club	1 per 600 sf *	1 per 300 sf *	1 per 250 sf *	1 per 250 sf *
	Health and fitness facility	1 per 250 sf *	1 per 175 sf *	1 per 150 sf *	1 per 150 sf *
	Marina	0.5 per slip	0.5 per slip	0.5 per slip	0.5 per slip
	Recreation facility, indoor	1 per 600 sf *	1 per 300 sf *	1 per 250 sf *	1 per 250 sf *
	All other uses	Zoning Administrator			
<b>Retail Sales and Service Uses</b>	Animal shelter	1 per 400 sf	1 per 400 sf	1 per 400 sf	1 per 400 sf
	Artist studio/school	1 per 1200 sf	1 per 600 sf	1 per 500 sf	1 per 500 sf
	Convenience store	1 per 300 sf *	1 per 200 sf *	1 per 125 sf *	1 per 125 sf *
	Funeral home or mortuary	1 per 175 sf assembly area	1 per 175 sf assembly area	1 per 150 sf assembly area	1 per 150 sf assembly area
	Kennel	1 per 400 sf	1 per 400 sf	1 per 400 sf	1 per 400 sf
	Novelty store or theater, adult	1 per 600 sf *	1 per 300 sf *	1 per 300 sf *	1 per 300 sf *
	Self-service storage units	3 plus 1 per 100 units	3 plus 1 per 100 units	3 plus 1 per 100 units	3 plus 1 per 100 units
	All other uses	1 per 600 sf *	1 per 300 sf *	1 per 250 sf *	1 per 250 *
<b>Vehicle Sales and Service Uses</b>	Automobile repair and maintenance, major	3 per bay	3 per bay	3 per bay	3 per bay
	Automobile repair and maintenance, minor	3 per bay	3 per bay	3 per bay	3 per bay
	Automobile rental	1 customer vehicle space per 500 sf	1 customer vehicle space per 500 sf	1 customer vehicle space per 500 sf	1 customer vehicle space per 500 sf
	Automobile sales	1 per 500 sf plus 3 per bay	1 per 500 sf plus 3 per bay	1 per 500 sf plus 3 per bay	1 per 500 sf plus 3 per bay
	Automobile salvage yard, indoor or outdoor	N/A	1 per 500 sf	1 per 500 sf	1 per 500 sf
	Automobile storage	N/A	1 per 500 sf	1 per 500 sf	1 per 500 sf
	Automobile tow lot	N/A	1 per 500 sf	1 per 500 sf	1 per 500 sf

**TABLE 5.1.7(D): MINIMUM NUMBER OF PARKING SPACES**

PRINCIPAL USE CATEGORY	PRINCIPAL USE TYPE	DOWNTOWN CHARACTER DISTRICT	TRADITIONAL CHARACTER DISTRICT	SUBURBAN CHARACTER DISTRICT	COASTAL CHARACTER DISTRICT
	Boat building and repair	1 space per 500 sf, plus 3 per bay	1 space per 500 sf, plus 3 per bay	1 space per 500 sf, plus 3 per bay	1 space per 500 sf, plus 3 per bay
	Boat dry storage facility	N/A	1 per 1,250 sf	1 per 1,250 sf	1 per 1,250 sf
	Boat sales, rental, service, or repair	1 space per 500 sf, plus 3 per bay	1 space per 500 sf, plus 3 per bay	1 space per 500 sf, plus 3 per bay	1 space per 500 sf, plus 3 per bay
	Car wash	1 per bay	1 per bay	1 per bay	1 per bay
	Commercial fueling depot	Zoning Administrator			
	Commercial vehicle repair and maintenance	1 per 850 sf	1 per 850 sf	1 per 850 sf	1 per 850 sf
	Commercial vehicle sales and rental	1 per 850 sf	1 per 850 sf	1 per 850 sf	1 per 850 sf
	Electric vehicle charging station	Zoning Administrator			
	Gas station	1 per 300 sf *	1 per 200 sf *	1 per 125 sf *	1 per 125 sf *
	Taxi or limousine service facilities	N/A	1 per 500 sf plus 3 per bay	1 per 500 sf plus 3 per bay	1 per 500 sf plus 3 per bay
Visitor Accommodation Uses	Tire sales and repair	3 per bay	3 per bay	3 per bay	3 per bay
	Bed and breakfast	0.67 per guest room plus resident spaces	1 per guest room plus resident spaces	1 per guest room plus resident spaces	1 per guest room plus resident spaces
	Campground	1 per 600 sf *	1 per 300 sf *	1 per 250 sf (*max. parking =125% of the min. requirement)	1 per 250 sf *
	Hotel or motel	0.5 spaces per 1 lodging unit	0.67 spaces per lodging unit	1 spaces per lodging unit	1.2 spaces per lodging unit
	Short-term rental unit (vacation rental)	0.5 spaces per bedroom	0.67 spaces per bedroom	1 spaces per bedroom	1.2 spaces per bedroom
<b>INDUSTRIAL USES</b>					
Industrial Uses	Distribution center	1 per 1250 sf	1 per 1250 sf	1 per 1250 sf	1 per 1250 sf
	Junkyard or storage yard	1 per 1200 sf	1 per 1200 sf	1 per 1200 sf	1 per 1200 sf
	Landfill	1 per 1200 sf	1 per 1200 sf	1 per 1200 sf	1 per 1200 sf
	Landscaping contractor's business	1 per 600 sf *	1 per 300 sf *	1 per 250 sf *	1 per 250 sf *
	Recycling collection station	N/A	1 per 900 sf	1 per 900 sf	1 per 900 sf
	Recycling sorting and processing center	N/A	1 per 900 sf	1 per 900 sf	1 per 900 sf
	Ship building and repair	1 per 500 sf plus 3 per bay	1 per 500 sf plus 3 per bay	1 per 500 sf plus 3 per bay	1 per 500 sf plus 3 per bay
	Solid waste processing facility	1 per 1200 sf	1 per 1200 sf	1 per 1200 sf	1 per 1200 sf
	Solid waste transfer station	1 per 1200 sf	1 per 1200 sf	1 per 1200 sf	1 per 1200 sf
	Trucking terminal	N/A	1 per 2000 sf	1 per 2000 sf	1 per 2000 sf
	Warehouse	1 per 1250 sf	1 per 1250 sf	1 per 1250 sf	1 per 1250 sf
	Wholesale establishment	1 per 1250 sf	1 per 1250 sf	1 per 1250 sf	1 per 1250 sf
	All other uses	1 per 850 sf	1 per 850 sf	1 per 850 sf	1 per 850 sf

**Notes:** sf = square feet BDRM = bedroom DU = dwelling unit  
 \*max. parking = 125% of the min. requirement



- (2) An applicant proposing to develop a use that is unlisted in Table 5.1.7(D), Minimum Number of Parking Spaces, shall propose the amount of required parking by one of the three methods outlined in this subsection. On receiving the application proposing to develop a use not expressly listed in Table 5.1.7(D), Minimum Number of Parking Spaces, with the proposed amount of parking, the ZA shall:
  - (a) Apply the minimum parking space requirement specified in Table 5.1.7(D), Minimum Number of Parking Spaces, for the listed use that is deemed most similar to the proposed use; or
  - (b) Establish the minimum parking space requirement by reference to standard parking resources published by the Institute for Transportation Engineers (ITE), Urban Land Institute (ULI), National Parking Association (NPA), or the American Planning Association (APA); or
  - (c) Require the applicant conduct a parking demand study to demonstrate the appropriate minimum parking space requirement. The study shall estimate parking demand based on the recommendations of the ITE, ULI, NPA, or APA, or another acceptable source of parking demand data. This demand study shall include relevant data collected from uses or combinations of uses that are the same or comparable to the proposed use in terms of density, scale, bulk, area, type of activity, and location.

#### **5.1.8. OFF-STREET LOADING**

##### **A. GENERAL STANDARDS**

- (1) All required off-street loading areas and berths shall be located on the same zoning lot as the use served.
- (2) All loading berths which abut a residential zoning district or are visible from a public right-of-way shall be completely screened therefrom by building walls, a solid concrete or masonry wall, or a door designed to be compatible with the principal building that it serves. The screening wall shall not be less than six or more than eight feet in height, and shall comply with the screening requirements in Section 5.4, Screening.
- (3) No loading berth shall be located within 30 feet of the nearest point of intersection of any two streets.
- (4) Each required loading area or berth shall be designed with appropriate means of vehicular access to a street or alley in a manner which will least interfere with traffic movement, shall be separated from customer and employee parking, and shall be subject to approval by the Director of Public Works.
- (5) All open loading areas or berths shall be surfaced with a dustless, all-weather material capable of bearing a live load of 200 pounds per square foot in accordance with standards established by the Director of Public Works.
- (6) Space allocated to any loading area shall not be used to satisfy the space requirements for any motor vehicle parking area, or portion thereof.

## **Article 5: Development Standards**

### **5.1 Parking, Loading, and Bicycle Standards**

#### **5.1.8 Off-Street Loading**

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- (7)** Central loading facilities may be substituted for loading areas or berths on individual zoning lots, provided that the central loading area complies with the following standards.
  - (a)** Each zoning lot served shall have direct access to the central loading area or berths without crossing streets or alleys at-grade.
  - (b)** The total number of loading areas or berths provided shall meet 75 percent of the minimum requirements herein specified for each of the uses served.
  - (c)** The zoning lot served shall be located no more than 500 feet from the central loading area or berths.
  - (d)** Any tunnel or ramp connecting the central loading area or berths with the zoning lot served shall be a minimum of seven feet in width and have a vertical clearance of not less than seven feet.
- (8)** Uses for which loading facilities are required but which are located in buildings with less floor area than the minimum prescribed for such loading area shall provide adequate receiving facilities accessible by motor vehicle off any adjacent alley, service drive, or open space on the same zoning lot.

## **B. DIMENSIONS OF LOADING AREAS OR BERTHS**

### **(1) Short Loading Areas or Berths**

- (a)** Unless otherwise specified, a required short loading area or berth shall be at least ten feet in width and 35 feet in length, exclusive of aisle and maneuvering space and shall have a vertical clearance of at least 15 feet.
- (b)** Maneuvering aprons for short areas or berths shall be at least 35 feet in length.
- (c)** Access lanes for short areas or berths shall be 12 feet in width for one-way lanes and 22 feet in width for two-way lanes. Space dedicated for access lanes may also be considered as space for the maneuvering apron.

### **(2) Long Loading Areas or Berths**

- (a)** Unless otherwise specified, a required long loading area or berth shall be at least 12 feet in width by at least 50 feet in length, exclusive of aisle and maneuvering space, and shall have a vertical clearance of at least 15 feet.
- (b)** Maneuvering aprons for long areas or berths shall be at least 60 feet in length.
- (c)** Access lanes for long loading areas or berths shall be 14 feet in width for one-way lane and 24 feet in width for two-way lanes. Space dedicated for access lanes may also be considered as space for the maneuvering apron.

## C. OFF-STREET LOADING AREAS (NUMBER AND SIZE)

Except where established elsewhere in this Ordinance, off-street loading areas shall provide the number and size of loading areas or berths established in Table 5.1.8, Minimum Off-Street Loading Areas (Number and Size).

TABLE 5.1.8: OFF-STREET LOADING AREAS (NUMBER AND SIZE)		
PRINCIPAL USE TYPE	GROSS FLOOR AREA (SQUARE FEET) [1]	NUMBER AND SIZE OF LOADING AREAS [2]
<b>RESIDENTIAL USES</b>		
Nursing home	10,000-100,000	1 Short Loading Area
Continuing Care Retirement Community	Greater than 100,000	1 Short Loading Area
<b>PUBLIC, CIVIC, AND INSTITUTIONAL USES</b>		
Hospital, Nursing Home, Educational Facility	10,000-100,000	1 Short Loading Area
	Each additional 100,000	1 Short Loading Area
All Other Public, Civic, and Institutional Uses	10,000-100,000	1 Short Loading Area
	Each additional 100,000 up to 500,000	1 Short Loading Area
<b>COMMERCIAL USES</b>		
Amphitheater, Arena, Stadium, Conference Center	10,000-20,000	1 Short Loading Area
	Greater than 20,000-100,000	1 Short Loading Area
Hotel/Motel	10,000-100,000	1 Short Loading Area
	Each additional 100,000	1 Short Loading Area
Retail Goods Establishment, (wholesale)	5,000-10,000	1 Short Loading Area
Theater	10,000-25,000	1 Short Loading Area
	Each additional 50,000	1 Short Loading Area
All Office Uses	10,000-100,000	1 Short Loading Area
	Each additional 100,000 up to 500,000	1 Short Loading Area
All Other Commercial Uses	10,000-25,000	2 Short Loading Areas
	25,000-40,000	2 Long Loading Areas
	40,000-100,000	3 Long Loading Areas
	Each additional 200,000	1 Long Loading Area
<b>INDUSTRIAL USES</b>		
Manufacturing	5,000-10,000	1 Short Loading Area
	Greater than 10,000-40,000	1 Long Loading Area
Warehouse and Freight Movement	Greater than 40,000-100,000	2 Long Loading Areas + 1 long loading area for each additional 150,000 square feet
Wholesale	10,000-40,000	1 Short Loading Area
	Greater than 40,000-100,000	1 Long Loading Area, 1 Short Loading Area
All Other Industrial Uses	Each additional 100,000 (above 100,000)	1 Long Loading Area
<b>Notes:</b> [1] Gross floor area refers to buildings or structures on premises. [2] Loading Area Dimensions: Short: 10 feet wide x 35 feet deep Long: 10 feet wide x 35 feet deep		



### **5.1.9. BICYCLE PARKING**

#### **A. APPLICABILITY**

Development subject to the requirements of this section shall comply with the following bicycle parking requirements, unless exempted in accordance with Section 5.1.9.B, Exemptions.

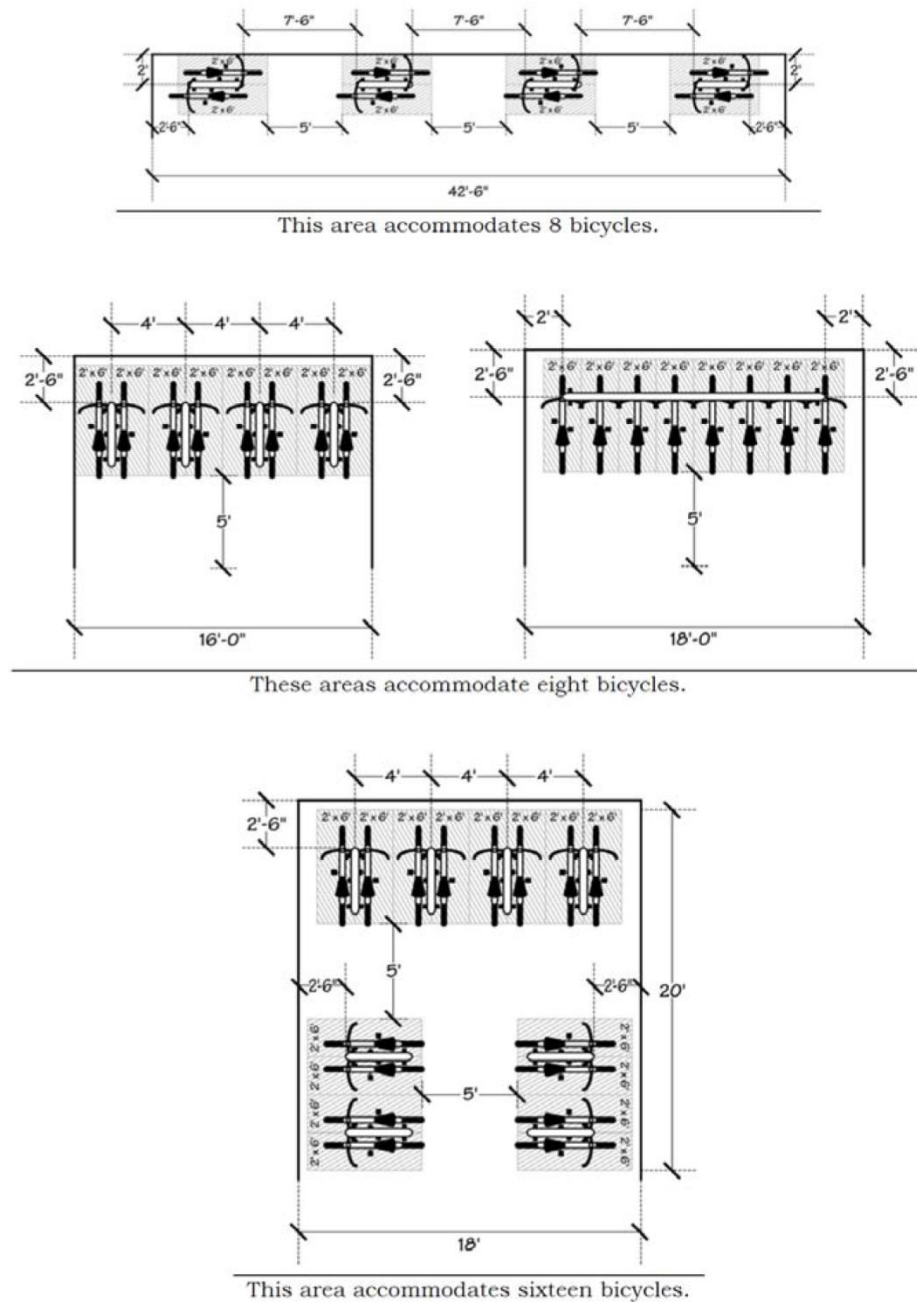
#### **B. EXEMPTIONS**

- (1)** Long-term bicycle spaces are exempted for any residential use located on land in the D-BC, D-MU, or D-AD districts.
- (2)** No long-term bicycle parking is required on a site where there is less than 2,500 square feet of gross building area.
- (3)** The following development is also exempted from these bicycle parking standards:
  - (a)** Single-family detached dwellings;
  - (b)** Two-family dwellings; and
  - (c)** A use in the Group Living Use Category (except fraternity or sorority house, or rooming house).

#### **C. GENERAL STANDARDS FOR BICYCLE PARKING**

- (1)** The bicycle parking area shall accommodate the maneuvering standards set forth in the Figure 5.1.9(A), Minimum Maneuverability Standards for Bicycle Parking, or, for bicycle parking provided with vertical space-saving racks, as set forth in Figure 5.1.9(B), Minimum Maneuverability Standards for Vertical Space Saver Racks.

Figure 5.1.9(A): Minimum Maneuverability Standards for Bicycle Parking

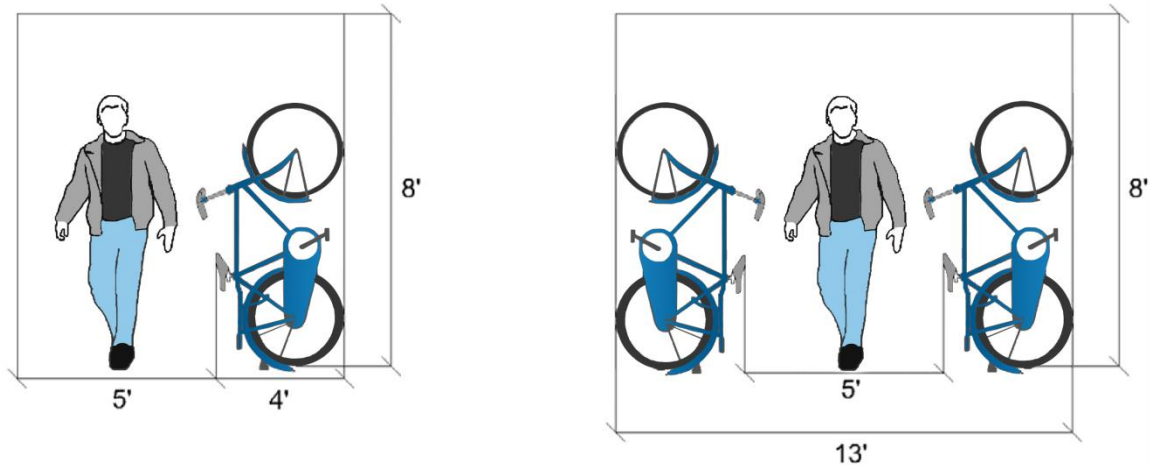


## Article 5: Development Standards

### 5.1 Parking, Loading, and Bicycle Standards

#### 5.1.9 Bicycle Parking

*Figure 5.1.9(B): Minimum Maneuverability Standards for Vertical Space Saver Racks*



- (2) When in use, each bicycle parking space shall be accessible without moving another parked bicycle.
- (3) The maneuvering area provided alongside or behind the bicycle parking spaces may extend into portions of a public right-of-way but not those portions established as a motor vehicle lane, motor vehicle drive aisle, motor vehicle parking space, or any landscaped area.
- (4) The surface of the bicycle parking area shall be improved with a hard surface and shall not include any gravel, dirt, sand, or turf.
- (5) Whenever the bicycle parking area is not visible from either the street or the entrance of the principal building, a sign shall be posted at the entrance of the principal building indicating the location of the bicycle parking.
- (6) Locations for bicycle parking spaces required for more than one use on the same zoning lot may be clustered, provided that the total number of required bicycle parking spaces for each use is satisfied and the parking area is located as follows:
  - (a) For all required short-term bicycle parking, within 150 feet from the main entrance of the principal building for each use on the lot; and
  - (b) For all required long-term bicycle parking, within 750 feet from the main entrance of the principal building for each use on the lot.

#### **D. STANDARDS FOR SHORT-TERM BICYCLE PARKING**

All short-term bicycle parking facilities or racks shall comply with the following construction and location standards.

- (1) The facility or rack shall accommodate securing a bicycle using an industry-standard bike lock.

- (2) The facility or rack shall be securely anchored to the ground or to a structural element of a building or structure.
- (3) Each space on the facility or rack shall be sufficient to accommodate a bicycle at least six feet in length.
- (4) The short-term bicycle parking facilities shall be designed and located so they do not block pedestrian circulation systems and pedestrian movements.
- (5) The short-term bicycle parking area shall be located within 75 feet of the main entrance to the building as measured along the most direct pedestrian access route.

## **E. STANDARDS FOR LONG-TERM BICYCLE PARKING**

All long-term bicycle parking facilities or racks shall comply with the following construction and location standards.

- (1) The facility or rack shall be securely anchored to the ground or to a structural element of a building or structure.
- (2) The facility or rack shall accommodate securing a bicycle using an industry-standard bike lock.
- (3) Each space on the facility or rack shall be sufficient to accommodate a bicycle at least six feet in length.
- (4) The bicycle parking facilities shall be designed and located so they do not block pedestrian circulations systems and pedestrian movements.
- (5) The parking area shall be located within 500 feet of the main entrance to the building as measured along the most direct pedestrian access route.
- (6) The bicycle parking area shall be constructed with at least one of the following features:
  - (a) A bicycle locker or similar structure manufactured for the sole purpose of securing and protecting a standard size bicycle from rain, theft and tampering by fully securing the bicycle in a temporary enclosure; or
  - (b) A secured and dedicated bicycle parking area provided either inside the principal building on the lot, or in a building located elsewhere on the lot, and within 500 feet of a main entrance to the principal building. The secured and dedicated bicycle parking area shall completely protect bicycles from rain with a minimum of eight feet of clearance above the floor or ground, and be improved with a hard surface.

## **F. BICYCLE COMMUTER SHOWER FACILITIES**

Commercial, office, or public, civic, or institutional development greater than 250,000 gross square feet in area located in the Downtown or Traditional Character Districts shall provide the following bicycle commuter shower facilities:

- (1) One shower for each gender for every 250,000 gross square feet of area in the buildings; and

## **Article 5: Development Standards**

### **5.1 Parking, Loading, and Bicycle Standards**

#### **5.1.9 Bicycle Parking**

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- (2)** The shower facility shall be easily accessible to the bicycle parking area and limited to use by employees or occupants of the building.

### **G. MINIMUM BICYCLE PARKING STANDARDS**

Except where indicated otherwise in this Ordinance, every use shall include the number of bicycle parking spaces indicated under the classifications and formulae set forth in Table 5.1.9, Minimum Number of Bicycle Parking Spaces. If a particular use is not specified on the table, then the number of spaces required shall be established by the ZA based upon similar uses.

### **H. ALTERNATIVE BICYCLE PARKING PLAN**

The ZA may authorize up to a 50 percent reduction in the minimum number of bicycle parking spaces required by this section, if the applicant submits an alternative bicycle parking plan that:

- (1)** Demonstrates the demand and need for bicycle parking on the site is not what is contemplated in this section because of the site's location, the site design, proximity to transit, or other factors; or
- (2)** Offers a strategy that demonstrates other non-auto and non-bicycle travel modes will be used by occupants and users of the development that reduces the demand for bicycle parking spaces.

**TABLE 5.1.9: MINIMUM NUMBER OF BICYCLE PARKING SPACES**

PRINCIPAL USE CATEGORY	PRINCIPAL USE TYPE	DOWNTOWN CHARACTER DISTRICT	TRADITIONAL CHARACTER DISTRICT	SUBURBAN CHARACTER DISTRICT	COASTAL CHARACTER DISTRICT
CONSERVATION, OPEN SPACE, AGRICULTURE, AND RESOURCE PROTECTION USES					
Conservation and Open Space Uses	All uses	N/A			
RESIDENTIAL USES					
Household Living Uses	Dwelling, multi-family	1 per 4 dwelling units (75% of min. shall be long-term)	1 per 5 dwelling units (75% of min. shall be long-term)	1 per 6 dwelling units (75% of min. shall be long-term)	1 per 5 dwelling units (75% of min. shall be long-term)
	All Other Uses	N/A			
Group Living Uses	Assisted housing; Dormitory; Fraternity or sorority house; Rooming house	1 per 4 living units (75% of min. shall be long-term)	1 per 5 living units (75% of min. shall be long-term)	1 per 6 living units (75% of min. shall be long-term)	1 per 6 living units (75% of min. shall be long-term)
	All other uses	N/A			
PUBLIC, CIVIC, AND INSTITUTIONAL USES					
Community Service Uses	Broadcasting studio; Cultural facility, museum, or library; Day care center, adult; Day care center, child; Government office; Hiring hall; Hospital	1 per 1,200 gsf (25% of min. shall be long-term)	1 per 1,500 gsf (25% of min. shall be long-term)	1 per 2,000 gsf (25% of min. shall be long-term)	1 per 2,000 gsf (25% of min. shall be long-term)
	College or university; School, vocational or trade	1 per 5,000 gsf (25% of min. shall be long-term)	1 per 8,000 gsf (25% of min. shall be long-term)	1 per 10,000 gsf (25% of min. shall be long-term)	1 per 8,000 gsf (25% of min. shall be long-term)
	Membership organization	1 per 4,000 gsf (10% of min. shall be long-term)	1 per 6,000 gsf (10% of min. shall be long-term)	1 per 8,000 gsf (10% of min. shall be long-term)	1 per 8,000 gsf (10% of min. shall be long-term)
	Religious institution; School, boarding; School, elementary; School, secondary	1 per 1,200 gsf (25% of min. shall be long-term)	1 per 1,500 gsf (25% of min. shall be long-term)	1 per 2,000 gsf (25% of min. shall be long-term)	1 per 1,500 gsf (25% of min. shall be long-term)
	All other uses	N/A			
Transportation and Utility Uses	Airport	N/A	N/A	1 per 12,000 gsf of waiting/ queuing area	1 per 12,000 gsf of waiting/ queuing area
	Heliport; Park and ride facility; Parking facility; Passenger terminal, surface transportation;	1 per 8,000 gsf of waiting/ queuing area	1 per 10,000 gsf of waiting/ queuing area	1 per 12,000 gsf of waiting/ queuing area	1 per 12,000 gsf of waiting/ queuing area

## Article 5: Development Standards

### 5.1 Parking, Loading, and Bicycle Standards

#### 5.1.9 Bicycle Parking

**TABLE 5.1.9: MINIMUM NUMBER OF BICYCLE PARKING SPACES**

PRINCIPAL USE CATEGORY	PRINCIPAL USE TYPE	DOWNTOWN CHARACTER DISTRICT	TRADITIONAL CHARACTER DISTRICT	SUBURBAN CHARACTER DISTRICT	COASTAL CHARACTER DISTRICT
	Terminal, cruise ship				
	All other uses	N/A			
COMMERCIAL USES					
Eating and Drinking Uses	After-hours membership organization	1 per 4,000 gsf (10% of min. shall be long-term)	1 per 6,000 gsf (10% of min. shall be long-term)	1 per 8,000 gsf (10% of min. shall be long-term)	1 per 8,000 gsf (10% of min. shall be long-term)
	Banquet hall; Catering establishment/commercial kitchen	1 per 1,200 gsf (10% of min. shall be long-term)	1 per 1,500 gsf (10% of min. shall be long-term)	1 per 2,000 gsf (10% of min. shall be long-term)	1 per 2,000 gsf (10% of min. shall be long-term)
	Nightclub; Production of craft beverages; Restaurant	1 per 1,200 gsf (10% of min. shall be long-term)	1 per 1,500 gsf (10% of min. shall be long-term)	1 per 2,000 gsf (10% of min. shall be long-term)	1 per 1,500 gsf (10% of min. shall be long-term)
Recreation Uses	Amusement park	20 per acre	10 per acre	5 per acre	10 per acre
	Arena, stadium, or amphitheater	1 per 35 seats and 1 space per 2,000 gsf of non-seated assembly area	1 per 40 seats and 1 space per 3,000 gsf of non-seated assembly area	1 per 75 seats and 1 space per 5,000 gsf of non-seated assembly area	1 per 40 seats and 1 space per 5,000 gsf of non-seated assembly area
	Cinema or theater	1 per 35 seats (10% of min. shall be long-term)	1 per 40 seats (10% of min. shall be long-term)	1 per 75 seats (10% of min. shall be long-term)	1 per 40 seats (10% of min. shall be long-term)
	Conference or training center	1 per 35 seats and 1 space per 2,000 gsf of non-seated assembly area	1 per 40 seats and 1 space per 3,000 gsf of non-seated assembly area	1 per 75 seats and 1 space per 5,000 gsf of non-seated assembly area	1 per 75 seats and 1 space per 5,000 gsf of non-seated assembly area
	All other uses	1 per 1,200 gsf (10% of min. shall be long-term)	1 per 1,500 gsf (10% of min. shall be long-term)	1 per 2,000 gsf (10% of min. shall be long-term)	1 per 2,000 gsf (10% of min. shall be long-term)
Retail Sales and Service Uses	Animal shelter; Kennel	N/A	2 (short-term) and 2(long-term)	2 (short-term) and 2(long-term)	2 (short-term) and 2(long-term)
	Convenience store	1 per 1,200 gsf (10% of min. shall be long-term)	1 per 1,500 gsf (10% of min. shall be long-term)	1 per 2,000 gsf (10% of min. shall be long-term)	1 per 2,000 gsf (10% of min. shall be long-term)
	Self-service storage units	1 per 40,000 gsf	1 per 40,000 gsf	1 per 50,000 gsf	1 per 50,000 gsf
	Veterinary hospital or clinic	2 (short-term) and 2 (long-term)	2 (short-term) and 2 (long-term)	2 (short-term) and 2 (long-term)	2 (short-term) and 2 (long-term)
	All other uses	1 per 5,000 gsf (10% of min. shall be long-term)	1 per 8,000 gsf (10% of min. shall be long-term)	1 per 10,000 gsf (10% of min. shall be long-term)	1 per 10,000 gsf (10% of min. shall be long-term)
Vehicle Sales and Service Uses	All uses	3 per 20,000 gsf (short-term) and 3 per 20,000 gsf (long-term)	3 per 20,000 gsf (short-term) and 3 per 20,000 gsf (long-term)	3 per 20,000 gsf (short-term) and 3 per 20,000 gsf (long-term)	3 per 20,000 gsf (short-term) and 3 per 20,000 gsf (long-term)
Visitor Accommodation Uses	Bed and breakfast	1 per 1,200 gsf (10% of min. shall be long-term)	1 per 1,500 gsf (10% of min. shall be long-term)	1 per 2,000 gsf (10% of min. shall be long-term)	1 per 1,500 gsf (10% of min. shall be long-term)
	Campground	1 per 5,000 gsf	1 per 10,000 gsf	1 per 20,000 gsf	1 per 20,000 gsf
	Hotel or motel	1 per 20 lodging units (90% of min. shall be long-term)	1 per 30 lodging units (90% of min. shall be long-term)	1 per 40 lodging units (90% of min. shall be long-term)	1 per 30 lodging units (90% of min. shall be long-term)
	Short-term rental unit (vacation rental)	N/A			



**TABLE 5.1.9: MINIMUM NUMBER OF BICYCLE PARKING SPACES**

PRINCIPAL USE CATEGORY	PRINCIPAL USE TYPE	DOWNTOWN CHARACTER DISTRICT	TRADITIONAL CHARACTER DISTRICT	SUBURBAN CHARACTER DISTRICT	COASTAL CHARACTER DISTRICT
<b>INDUSTRIAL USES</b>					
Industrial Uses	All uses	1 per 40,000 gsf	1 per 40,000 gsf	1 per 50,000 gsf	1 per 50,000 gsf
Notes: ft. = feet   sf = square feet   gsf = gross square feet					



## 5.8 EXTERIOR LIGHTING

### 5.8.1. PURPOSE AND INTENT

The purpose and intent of this section is to regulate exterior lighting to:

- A.** Ensure all exterior lighting is designed and installed to maintain adequate lighting levels on site;
- B.** Assure that excessive light spillage and glare are not directed at adjacent lands, neighboring areas, and motorists;
- C.** Curtail light pollution, reduce sky glow, and preserve the nighttime environment for the enjoyment of residents and visitors;
- D.** Conserve energy and resources to the greatest extent possible; and
- E.** Provide security for persons and land through the use of crime prevention through environmental design (CPTED) principles.

### 5.8.2. APPLICABILITY

#### A. GENERAL

Unless exempted in accordance with subsection B , below, the standards of this section apply to:

- (1)** All new development in the city;
- (2)** Any individual expansion or alteration of a building existing prior to [insert the effective date of this Ordinance] if the expansion increases the building's floor area by 50 percent or more, or the alteration involves 50 percent or more of the building's floor area (including interior alterations); and
- (3)** Any time a building (electrical) permit is required by the city.

#### B. EXEMPTIONS

The following types of lighting are exempted from the standards of this section:

- (1)** Lighting exempt under Commonwealth or federal law;
- (2)** FAA-mandated lighting associated with a utility tower or airport;
- (3)** Lighting for public monuments and statuary;
- (4)** Lighting for public art;
- (5)** Lighting solely for signage (see Section 5.7, Signs);
- (6)** Lighting for outdoor recreational uses such as ball diamonds, football fields, other playing fields, tennis courts and similar uses, provided that:

- (a) Light poles are not more than 30 feet in height, except at ball diamonds, football fields, and other playing fields, where they may be taller;
  - (b) Maximum illumination at the property line is not brighter than two foot-candles; and
  - (c) Exterior lighting is extinguished no later than 11:00 p.m. except to complete an activity that is in progress prior to 11:00 p.m.
- (7) Temporary lighting for circuses, fairs, carnivals, theatrical, and other performance areas-provided such lighting is discontinued upon completion of the performance;
  - (8) Temporary lighting of construction sites, provided such lighting is discontinued upon completion of the construction activity;
  - (9) Temporary lighting for emergency situations-provided such lighting is discontinued upon abatement of the emergency situation;
  - (10) Security lighting controlled and activated by motion sensor devices for a duration of 15 minutes or less;
  - (11) Underwater lighting in swimming pools, fountains, and other water features; and
  - (12) Holiday or festive lighting-provided such lighting does not create unsafe glare on street rights-of-way.

### **5.8.3. TIMING OF REVIEW**

Review for compliance with the standards of this section shall occur during review of a development application for either a planned development (see Section 2.4.5, Planned Development District), conditional use (see Section 2.4.6, Conditional Use Permit), site plan (see Section 2.4.16, Major Site Plan or Section 2.4.17, Minor Site Plan), Zoning Certificate (see Section 2.4.12, Zoning Certificate), or building (electrical) permit (see Chapter 11.1 of City Code), as appropriate.

### **5.8.4. LIGHTING PLAN**

To ensure compliance with the standards of this section, a lighting plan demonstrating how exterior lighting will comply with the standards of this section shall be included as part of a development application, unless deemed unnecessary by the ZA.

### **5.8.5. PROHIBITED LIGHTING**

The following exterior lighting is prohibited:

- A.** Light fixtures that imitate an official highway or traffic control light or sign;
- B.** Light fixtures in the direct line of vision with any traffic control light or sign;
- C.** Privately-owned light fixtures located in the public right-of-way;

- D.** Searchlights, except when used by Commonwealth, Federal, or local authorities, or where they are used to illuminate alleys, parking garages and working (maintenance) areas, if they are shielded and aimed so that they do not result in lighting on any adjacent lot or public right-of-way exceeding two foot-candles; and
- E.** Light types of limited spectral emission, such as low pressure sodium or mercury vapor lights. Light sources shall be color-correct types such as halogen, LED, or metal halide.

#### **5.8.6. GENERAL STANDARDS FOR EXTERIOR LIGHTING**

Development subject to this section shall comply with the following standards.

##### **A. HOURS OF ILLUMINATION**

Public, civic, and institutional uses, commercial uses, and industrial uses that are adjacent to existing residential development shall extinguish all exterior lighting—except lighting necessary for security or emergency purposes—by 10:00 P.M. or within one hour of closing, whichever occurs first. For the purposes of this paragraph, lighting “necessary for security or emergency purposes” shall be construed to mean the minimum amount of exterior lighting necessary to illuminate possible points of entry or exit into a structure, to illuminate exterior walkways, or to illuminate outdoor storage areas. Lighting activated by motion sensor devices is strongly encouraged.

##### **B. SHIELDING WITH FULL CUT-OFF FIXTURES**

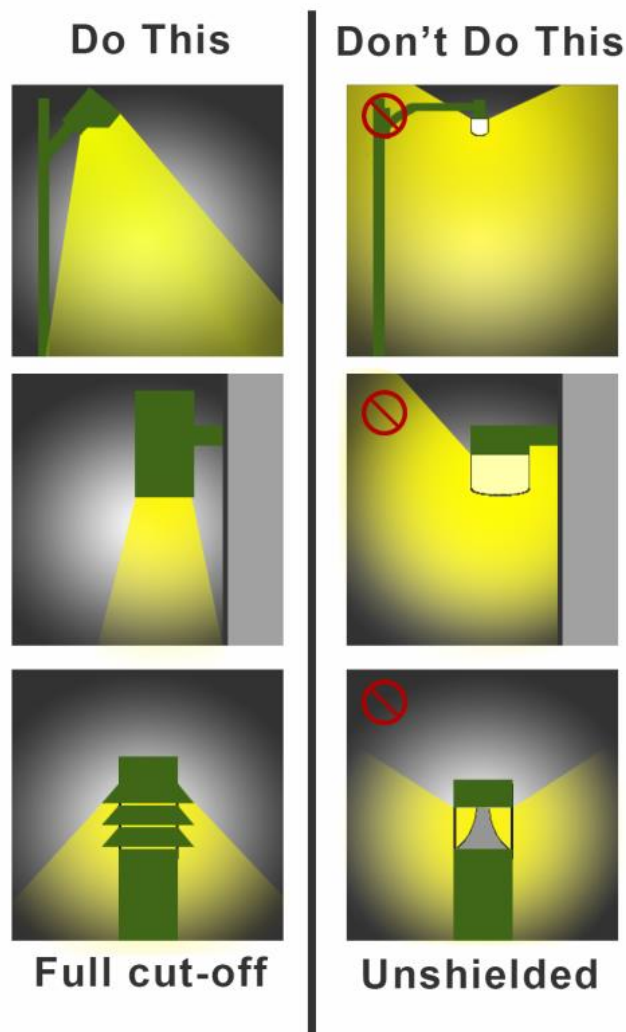
All exterior lights, including security lighting, shall be full cut-off fixtures that are directed downward, consistent with Figure 5.8.6(A), Full Cut-off Fixtures. In no case shall lighting be directed above a horizontal plane through the lighting fixture.

## Article 5: Development Standards

### 5.8 Exterior Lighting

#### 5.8.6 General Standards for Exterior Lighting

Figure 5.8.6(A): Full Cut-off Fixtures

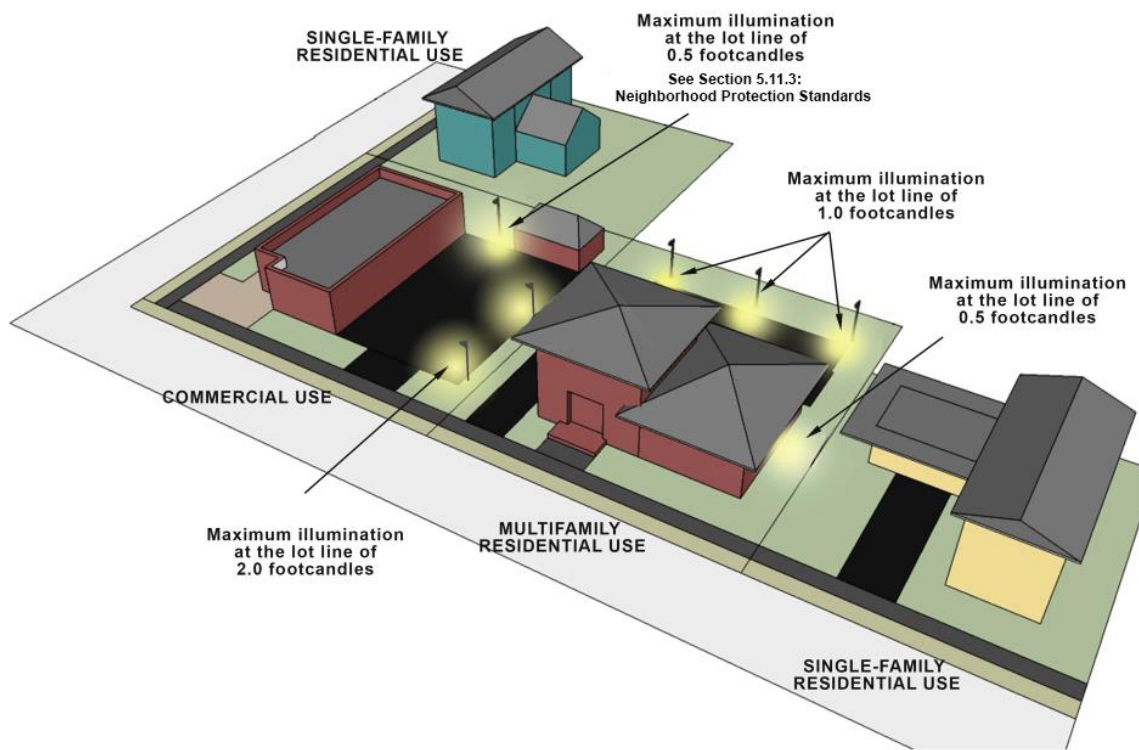


### C. MAXIMUM ILLUMINATION LEVELS

- (1) All exterior lighting and indoor lighting visible from outside shall be designed and located so that the maximum illumination measured in foot-candles at ground level at a lot line shall not exceed the standards in Table 5.8.6(A), Maximum Illumination Levels, and Figure 5.8.6(B), Maximum Illumination Levels.

<b>TABLE 5.8.6(A): MAXIMUM ILLUMINATION LEVELS</b>	
<b>TYPE OF USE ABUTTING A LOT LINE</b>	<b>MAXIMUM ILLUMINATION LEVEL AT LOT LINE (FOOTCANDLES)</b>
Residential uses, conservation, open space, agriculture, and resource protection uses (except multi-family, townhouse, and all uses in the Group Living Use Category)	0.5
Multi-family, townhouse, all Group Living uses and the Public, Civic, and Institutional Use classification	1.0
Commercial or mixed uses, and land in the Commercial and Downtown base zoning districts	2.0
Land in the Industrial base zoning districts	3.0
Parking facilities (when a stand-alone use)	2.5
NOTES: in = inches ft. = feet	

Figure 5.8.6(B): Maximum Illumination Levels





## Article 5: Development Standards

### 5.8 Exterior Lighting

#### 5.8.7 Lighting Design Standards for Specific Uses and Site Features

- (2) All exterior light fixtures shall generate at least 80 lumens per watt of energy consumed, as shown on the manufacturers specifications for the fixture.

#### D. MAXIMUM HEIGHT

- (1) Except as established in subsection D(2), below, the height of exterior light fixtures, whether mounted on poles, walls, or by other means, shall comply with the standards in Table 5.8.6(B), Maximum Height for Exterior Lighting.

TABLE 5.8.6(B): MAXIMUM HEIGHT FOR EXTERIOR LIGHTING	
BASE ZONING DISTRICT	MAXIMUM HEIGHT
Residential	16 feet
Historic and Cultural Conservation and Special Purpose	20 feet
Commercial, Downtown, and Industrial	30 feet
Within 100 feet of a Residential base zoning district	16 feet
NOTES: in = inches ft. = feet	

- (2) Lighting poles for athletic fields shall not exceed 95 feet in height.
- (3) Light fixtures in parking lot interior landscape islands shall not exceed 15 feet in height.

#### E. DISPERSAL OF LIGHT ON THE SITE

All exterior lighting on a site shall be adequately located and dispersed to ensure it does not result in excessive shadows or light islands.

### 5.8.7. LIGHTING DESIGN STANDARDS FOR SPECIFIC USES AND SITE FEATURES

In addition to complying with all applicable standards in Section 5.8.6, General Standards for Exterior Lighting, the specific uses and site features identified in this subsection shall comply with the standards established for that type of use or site feature.

#### A. SPORTS AND PERFORMANCE VENUES

Lighting fixtures for outdoor sports areas, athletic fields, and performance areas shall be equipped with an existing glare control package (e.g., louvers, shields, or similar devices) and aimed so that their beams are directed and fall within the primary playing or performance area.

#### B. WALL PACK LIGHTS

Wall packs on the exterior of the building shall be fully shielded (e.g., true cut-off type bulb or light source not visible from off-site) to direct the light vertically downward and be of low wattage (100 watts or lower).

## C. PEDESTRIAN LIGHTING

Pedestrian light fixtures shall comply with the following:

- (4) Light fixtures for sidewalks, walkways, trails, and bicycle paths, shall provide at least 1.2 foot candles of illumination, but not exceed 2.0 foot candles.
- (5) Light poles shall not be higher than 16 feet above grade and shall be placed a maximum of 100 feet apart.
- (6) Pedestrian bollard lamps shall be mounted no higher than four feet above grade and shall not exceed 900 lumens for any single lamp (see Figure 5.8.7, Examples of Pedestrian Bollard Lamps).

*Figure 5.8.7: Examples of Pedestrian Bollard Lamps*



## D. DECORATIVE LANDSCAPING AND LIGHTING

Decorative lighting shall not exceed 100 watts of incandescent illuminance or the equivalent.

## E. CANOPIES

Areas under a canopy shall be designed so as not to create glare off-site. Acceptable methods to address this include one or both of the following:

- (7) A recessed fixture incorporating a lens cover that is either recessed or flush with the bottom surface (ceiling) of the canopy that provides a full cutoff or fully-shielded light distribution; or
- (8) A surface mounted fixture incorporating a flat glass that provides a full cutoff or fully-shielded light distribution.

## **F. AWNINGS**

Awnings used for building accents over doors and windows shall not be internally illuminated (i.e., from underneath or behind the awning) unless the awning material is entirely opaque.

### **5.8.8. MEASUREMENT**

#### **A. GENERAL**

Light level measurements shall be made at the lot line of the land upon which light to be measured is being generated. If measurement on private property is not possible or practical, light level measurements may be made at the boundary of the public street right-of-way that adjoins the land. Measurements shall be made at finished grade (ground level), with the light-registering portion of the meter held parallel to the ground pointing up. The meter shall have cosine and color correction and have an accuracy tolerance of no greater than plus or minus five percent.

#### **B. LIGHT METER CALIBRATED WITHIN TWO YEARS**

Measurements shall be taken with a light meter that has been calibrated within two years.

### **5.8.9. EXEMPTIONS FOR A SECURITY PLAN**

- A.** Government facilities, parks, public safety, and other development may submit a security plan to the ZA proposing exterior lighting that deviates from the standards in this section. The ZA shall approve or approve with conditions the security plan and its proposed deviation from the standards, upon finding that:
- (1)** The proposed deviation from the standards is necessary for the adequate protection of the subject land, development, or the public;
  - (2)** The condition, location, or use of the land, or the history of activity in the area, indicates the land or any materials stored or used on it are in significantly greater danger of theft or damage, or members of the public are at greater risk for harm than on surrounding land without the additional lighting; and
  - (3)** The proposed deviation from the standards is the minimum required, and will not have a significant adverse effect on neighboring lands.
- B.** If the ZA finds the applicant fails to demonstrate compliance with subsection A, above, the security plan shall be disapproved.

## 5.9 FORM STANDARDS

### 5.9.1. PURPOSE

The purpose and intent of these form standards are to:

- A.** Establish a minimum level of development quality for new development in the City of Norfolk;
- B.** Promote greater compatibility between different uses;
- C.** Encourage the establishment of a stronger sense of place;
- D.** Limit the impacts of automobile-oriented development in certain Character districts;
- E.** Provide landowners, developers, architects, builders, business owners, and others with a clear and equitable set of parameters for developing land; and
- F.** Improve the appearance of the city generally.

### 5.9.2. APPLICABILITY

#### A. GENERAL

Unless exempted in accordance with subsection B, below, the standards identified in this section shall apply to all development as identified in Section 5.9.3, Single-Family Detached Dwellings Form Standards, Section 5.9.4, Multi-Family Form Standards, and Section 5.9.5, Non-Residential and Mixed-Use Form Standards.

#### B. EXEMPTIONS

Development exempt from these standards includes the following:

- (1)** Adaptive re-uses of buildings designated Historic Landmark;
- (2)** Development in an HC or HO district that is determined by the ARB to be appropriate for the location and the district; and
- (3)** Any other development that is determined by the ARB to be architecturally appropriate in the context of the neighborhood, within the following limitations:
  - (a)** For the single-family detached dwellings form standards, the ARB may exempt development from complying with any form standard in Table 5.9.3, Single-Family Detached Dwellings Form Standards, except those found in Component 3, Ground Floor Height, and Component 4, Garage Location.
  - (b)** For the multi-family and non-residential and mixed-use form standards, the ARB may exempt development from complying with any form

standard in either Table 5.9.4, Multi-Family Form Standards, or Table 5.9.5, Non-Residential and Mixed-Use Form Standards.

### 5.9.3. SINGLE-FAMILY DETACHED DWELLINGS FORM STANDARDS

#### A. PURPOSE

The purpose and intent of these single-family form standards are to:

- (1) Establish a minimum level of development quality for detached single-family dwellings;
- (2) Promote greater compatibility between detached single-family dwellings and other allowable uses in the Traditional and Coastal Character Districts; and
- (3) Provide landowners, developers, architects, builders, business owners, and others with a clear and equitable set of parameters for developing land.

#### B. APPLICABILITY

The standards identified in Table 5.9.3, Single-Family Detached Dwellings Form Standards, shall apply to all new detached single-family dwellings in the Traditional, Coastal, and Suburban Character Districts, and in the Downtown and Historic zoning districts, unless stated otherwise in this section.

#### C. TIMING OF REVIEW

Review for compliance with the standards of this section shall occur during review of a development application for a planned development (Section 2.4.5), major site plan (Section 2.4.16), minor site plan (Section 2.4.17) or Zoning Certificate (Section 2.4.12), as appropriate.

#### D. FORM STANDARDS

TABLE 5.9.3: SINGLE-FAMILY DETACHED DWELLINGS FORM STANDARDS				
A = STANDARD APPLIES	NA = STANDARD DOES NOT APPLY			
STANDARD	CHARACTER DISTRICT			
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN
<b>Component 1: Building Orientation and Configuration</b>				
If located on an improved street, the primary entrance shall face the street.	NA	A	A	N/A
If located on a lot fronting the water, the primary entrance may face the water.	NA	A, if not on an improved street	A	A, if not on an improved street
Any building façade facing a public street shall have window or door openings.	NA	A	A	A
All building façades shall have window or door openings.	NA	A	A	NA
<b>Component 2: Front Porches</b>				
A covered entryway shall be provided at the primary entrance.	NA	At least 48 sq. ft. with 6 ft. minimum dimension	At least 48 sq. ft. with 6 ft. minimum dimension	4 ft. minimum dimension

**TABLE 5.9.3: SINGLE-FAMILY DETACHED DWELLINGS FORM STANDARDS**


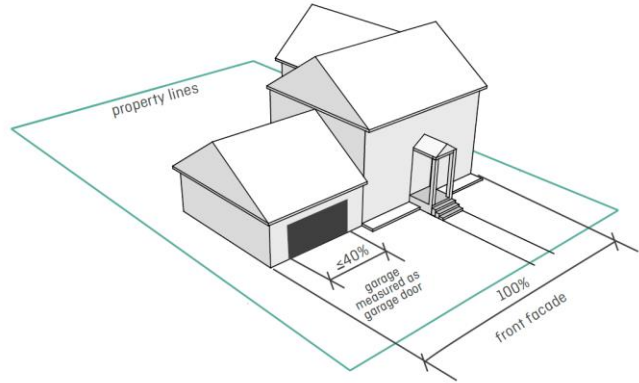
A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY		
STANDARD	CHARACTER DISTRICT			
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN
A second-floor deck may be substituted in place of the front porch provided it meets the minimum dimensions established.	NA	NA	A	NA
<div></div> <p>Figure 5.9.3(A): Example of Covered Entryway</p>				
Component 3: Ground Floor Height				
The ground story finished floor shall be elevated (subject to requirements of FPCH-O district).	NA	Minimum 24 inches	Minimum 24 inches	Minimum 16 inches
<div></div> <p>Figure 5.9.3(B): Example of Raised Ground Story Elevation</p>				
Component 4: Garage Location				
The front façade of any attached garage shall be set back from the front façade of the building.	NA	At least 5 ft.	At least 5 ft.	Not project beyond front façade [1]
The front façade of any attached, side-loading garage shall have window or door openings.	NA	A	A	A



## Article 5: Development Standards

### 5.9 Form Standards

#### 5.9.4 Multi-Family Form Standards

TABLE 5.9.3: SINGLE-FAMILY DETACHED DWELLINGS FORM STANDARDS				
A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY		
STANDARD	CHARACTER DISTRICT			
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN
The total horizontal length of the garage doors facing the street, for any attached garage, shall not exceed the length established.	NA	8 ft.	16 ft.	16 ft.
The front façade of any detached garage shall be set back from the front façade of the building.	NA	At least 6 ft.	Not project beyond the front façade	Not project beyond the front façade
				
<p><i>Figure 5.9.3(C): Example of Detached Garage with Similar Form</i></p> <p><i>Figure 5.9.3(D): Measuring Garage Frontage as a Percent of the Front Facade</i></p>				
<p><b>Notes:</b></p> <p>[1] An attached garage may project up to three feet beyond the front façade of a building if an architectural porch-like feature is installed above the garage door</p>				

## 5.9.4. MULTI-FAMILY FORM STANDARDS

### A. PURPOSE

The purpose and intent of these multi-family form standards are to:

- (1) Establish a minimum level of development quality for multi-family, townhouse, and duplex residential development;
- (2) Promote greater compatibility between multi-family, townhouse, and duplex residential development and other allowable uses; and
- (3) Provide landowners, developers, architects, builders, business owners, and others with a clear and equitable set of parameters for developing land.

### B. APPLICABILITY

#### (1) General

Unless exempted in accordance with subsection B(2), below, the standards in Table 5.9.4, Multi-Family Form Standards shall apply to:

- (a) All new multi-family, townhouse, and duplex development in the Downtown, Traditional, Coastal, and Suburban Character Districts, except in the Downtown and Historic Zoning Districts, and unless stated otherwise in this section.



- (b) Any expansion or alteration of an existing multi-family, townhouse, and duplex development except in the Downtown Zoning Districts, if the expansion increases the development's gross floor area by 50 percent or more or the alteration involves 50 percent or more of the development's gross floor area.

## (2) Exemptions



The standards in this section shall not apply to any dwellings located above a non-residential use.

## C. TIMING OF REVIEW

Review for compliance with the standards of this section shall occur during review of a development application for a planned development (Section 2.4.5), major site plan (Section 2.4.16), minor site plan (Section 2.4.17) or Zoning Certificate (Section 2.4.12), as appropriate.

## D. FORM STANDARDS

**TABLE 5.9.4: MULTI-FAMILY FORM STANDARDS**


A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY			
STANDARD	CHARACTER DISTRICT				
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN	
Component I: Building Orientation and Configuration					
<u>Single Building Development</u> - the primary entrance of a single-building development shall face the street.		A			
<u>Multi-Building Development</u> - shall create a street edge if along multiple streets, and be configured so that primary building entrances are oriented towards external streets, internal streets, or open space areas (like courtyards). Buildings may be oriented towards off-street parking lots only in cases where no other practical alternative exists.		A [1]	A		
					
Figure 5.9.4(A): Building Entrances for Single Building Development		Figure 5.9.4(B): Building Entrances for Multi Building Development			

## Article 5: Development Standards

### 5.9 Form Standards

#### 5.9.4 Multi-Family Form Standards

**TABLE 5.9.4: MULTI-FAMILY FORM STANDARDS**

A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY			
STANDARD	CHARACTER DISTRICT				
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN	
Component 2: Building Facades					
Any wall facing a public street shall not be blank, but shall have window or door openings.					
Façades that face a public street shall incorporate wall offsets, in the form of projections or recesses in the façade plane of at least two-foot depth, as follows:	NA	At least every 40 feet of frontage	At least every 60 feet of frontage	At least every 60 feet of frontage	
<div></div> <p>Figure 5.9.4(C): Wall Offsets</p>					
Component 3: Roofs					
Minimum and maximum roof slope for buildings up to five stories in height with sloping roofs shall be as follows: [2]	Between 6:12 and 12:12			Between 3:12 and 12:12	
For buildings with sloped roofs at least 80 feet in length, sloped roofs on principal buildings shall include two or more different sloping roof planes.	A			NA	
For multi-family buildings and townhome buildings with flat roofs at least 80 feet in length, flat roofs shall be concealed by parapet walls.	A				
All roof-based mechanical equipment, as well as vents, pipes, antennas, satellite dishes, and other roof penetrations (except chimneys), shall be screened from view from any public right of way.	A				

**TABLE 5.9.4: MULTI-FAMILY FORM STANDARDS****A = STANDARD APPLIES****NA = STANDARD DOES NOT APPLY****STANDARD****CHARACTER DISTRICT****DOWNTOWN****TRADITIONAL****COASTAL****SUBURBAN***Figure 5.9.4(D): Example of Parapets on Flat Roofs**Figure 5.9.4(E): Example of Variation in Roof Slopes***Component 4: Ground Floor Height**

The minimum ground story finished floor elevation for dwelling units shall be as follows:

3 ft.

1 ft.

**Component 5: Parking Location**

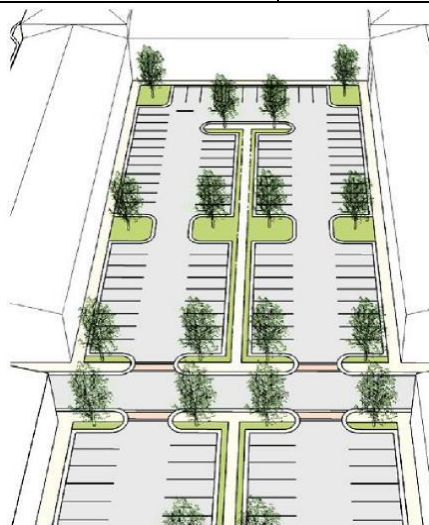
Location of parking areas shall comply with the standards in Section 5.1.7.A, Locational Standards.

Off-street surface parking lots with 300 or more spaces shall be organized into a series of parking bays surrounded by buildings, landscaping, or access ways.

A

Parking shall be allowed under a multi-family building on the first floor/ground level, but if parking is on the first floor, it shall be screened from the public street by the front building façade. The front façade screening the parking shall be of the same material, finish and color as the remainder of the building façade.

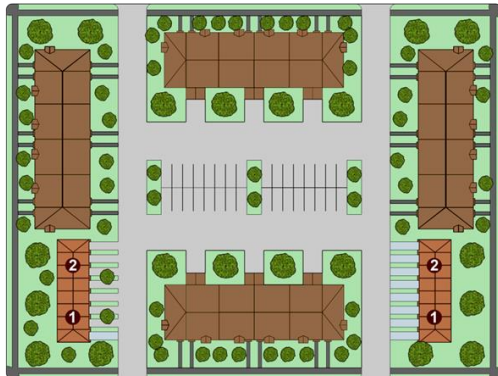
A

*Figure 5.9.4(F): Example of Organization of a Large Parking Lot*

## Article 5: Development Standards

### 5.9 Form Standards

#### 5.9.5 Non-Residential and Mixed-Use Form Standards

TABLE 5.9.4: MULTI-FAMILY FORM STANDARDS				
A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY		
STANDARD	CHARACTER DISTRICT			
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN
Component 6: Garage Location				
Multi-Family Buildings				
Detached garages or carports shall be located to the side or rear of the building(s) containing the dwellings. [3]	A			
Freestanding garages or carports visible from public streets outside the development shall be oriented perpendicular to the street, or the façade facing the street shall be configured to comply with the required wall offsets and façade design features in the section in this Table titled Building Facades.	A			
Garages shall not project beyond the front façade of the multi-family building.	A			
<div><p style="text-align: center;">Street</p><div><p>1. Detached garage located to the side or rear</p><p>2. Freestanding garage visible from the public street shall be oriented perpendicular to the street</p></div></div>				
<p><i>Figure 5.9.4(G). Multi-Building Orientation of Detached Garages or Carports</i></p>				
<p><b>Notes:</b></p> <p>[1] For the Downtown Character District, all buildings and primary building entrances shall be oriented to a street.</p> <p>[2] Alternative roof forms or pitches may be allowed for small roof sections over porches, entryways, or similar features no wider than twelve feet.</p> <p>[3] Structured parking is exempt from this requirement.</p>				

## 5.9.5. NON-RESIDENTIAL AND MIXED-USE FORM STANDARDS

### A. PURPOSE

The purpose and intent of these non-residential and mixed-use form standards are to ensure a minimum quality of form that is consistent with the character and desired form for certain types of non-residential and mixed-use development in the Downtown, Traditional, Coastal, and Suburban character districts, in a way that results in greater predictability during the development review process. More specifically, the purposes of this section are to:

- (1) Encourage the establishment of a stronger sense of place with vibrant non-residential and mixed-use development;
- (2) Encourage a more pedestrian-friendly environment through attention to human-scale form and site features that limit large, bulky buildings;

- (3) Foster greater compatibility between adjacent residential and non-residential and mixed-use development;
- (4) Limit the impacts of automobile-oriented development in certain Character districts; and
- (5) Improve the appearance of the city generally.

## B. APPLICABILITY

The standards in Table 5.9.5, Non-Residential and Mixed-Use Form Standards, shall apply to:

- (1) All new non-residential and mixed-use development, except for industrial development, in the Downtown, Traditional Coastal and Suburban character districts, except in the Downtown zoning districts, and unless stated otherwise in this section.
- (2) Any expansion or alteration of an existing non-residential or mixed-use development, except in the Downtown zoning districts and except for industrial development, if the expansion increases the development's gross floor area by 50 percent or more or the alteration involves 50 percent or more of the development's gross floor area.

## C. TIMING OF REVIEW

Review for compliance with the standards of this section shall occur during review of a development application for a planned development (Section 2.4.5), major site plan (Section 2.4.16), minor site plan (Section 2.4.17) or Zoning Certificate (Section 2.4.12), as appropriate.

## D. FORM STANDARDS

**TABLE 5.9.5: NON-RESIDENTIAL AND MIXED-USE FORM STANDARDS**

A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY			
STANDARD	CHARACTER DISTRICT				
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN	
Component I: Building Orientation and Configuration					
The front façade of all buildings, as defined by the primary entrance, shall be oriented on and front a street, a courtyard, or plaza.	A				
All buildings with 100 feet or more frontage on a street shall have at least one pedestrian entrance onto a street for every 100 feet of frontage on the street.	A			NA	
All building frontages that face a street shall be multi story or, if single story, shall be at least 20 feet in height.	A			NA	
Single-Building Development					
All single-building developments shall be configured with the long axis of the building parallel to the street it fronts, or be consistent with existing development patterns, rather than being sited at unconventional angles.	A				

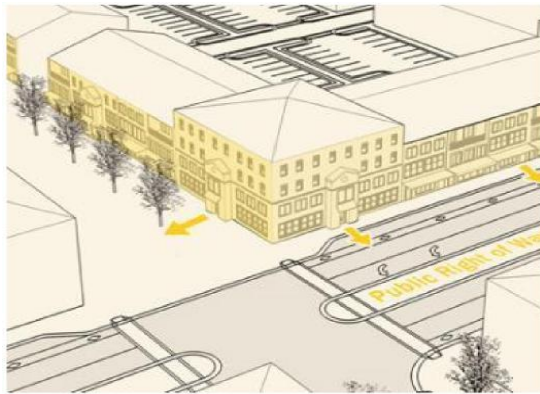



## Article 5: Development Standards

### 5.9 Form Standards

#### 5.9.5 Non-Residential and Mixed-Use Form Standards

### TABLE 5.9.5: NON-RESIDENTIAL AND MIXED-USE FORM STANDARDS

A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY			
STANDARD	CHARACTER DISTRICT				
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN	
Multi-Building Development					
Developments composed of multiple buildings totaling 100,000 or more square feet of floor area shall be configured to:					
<ul style="list-style-type: none"><li>Break up the site into a series of smaller “blocks,”</li></ul>	NA			A	
<ul style="list-style-type: none"><li>Frame the corner of an adjacent street intersection or entry point to the development,</li></ul>	A				
<ul style="list-style-type: none"><li>Frame and enclose a "Main Street" pedestrian or vehicle access corridor within the development site, if appropriate,</li></ul>	NA			A	
The primary entrances of buildings shall be oriented towards a street along the perimeter of a development, towards streets or driveways interior to the development, or towards open space areas, courtyards, or plazas.	A				
<div><p>Figure 5.9.5(A). Building Orientation</p><div><p>Figure 5.9.5(B). Breaking Up Sites into a Series of Smaller Blocks</p></div></div>					
Component 2: Outparcel Development					
Outparcels and their buildings shall be configured and located to define street edges, development entry points, and spaces for gathering or seating between buildings, to the maximum extent practicable.	A				
Spaces between buildings on outparcels shall be configured with small scale pedestrian amenities such as seating areas, gathering spaces, and pedestrian connections.	A				

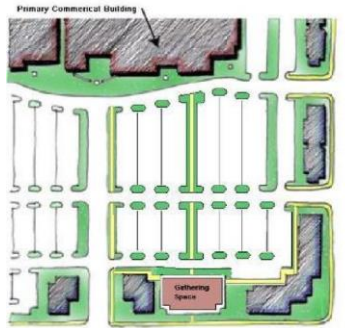
**TABLE 5.9.5: NON-RESIDENTIAL AND MIXED-USE FORM STANDARDS****A = STANDARD APPLIES****NA = STANDARD DOES NOT APPLY****STANDARD****CHARACTER DISTRICT**

DOWNTOWN

TRADITIONAL

COASTAL

SUBURBAN

*Figure 5.9.5(C). Outparcel Development***Component 3: General Building Form**

Buildings of three or more stories shall include a clearly recognizable base, middle, and top on their front facades configured in accordance with the following standards:

- Building bases shall incorporate one or more of the following that distinguish the building base from the remainder of the façade:
  - Thicker walls, ledges, and/or sills; and
  - Change in materials.

A

NA

- Building tops shall include one or more of following features that distinguish the building top from the remainder of the façade:
  - Three-dimensional cornice treatments
  - Sloping roofs with overhangs and brackets;
  - Stepped parapets; or
  - Aligned openings and articulations (see Figure 5.9.5(D), Building Form with Base, Middle, and Top).

*Figure 5.9.5(D). Building Form with Base, Middle, and Top*

A

NA

Outbuildings located in front of other buildings within the same development shall include a consistent level of façade articulation and architectural detail on all sides of the building as well as exterior materials and colors that are compatible with the primary building in the development.

A

**Component 4: Façade Articulation**

Street-facing front building façades that are greater than 80 feet wide shall be articulated with wall offsets (e.g., projections or recesses in the façade plane) that are at least one foot deep, at least ten feet wide, and spaced as follows:

NA

Every 40 feet


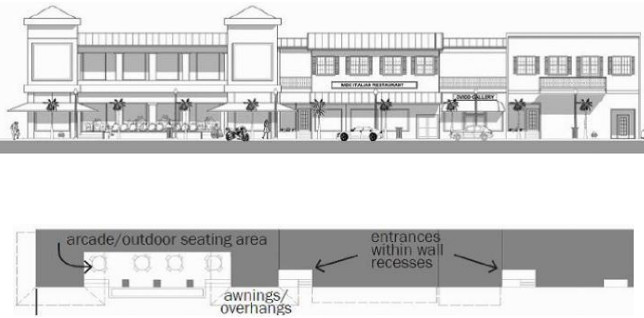


## Article 5: Development Standards

### 5.9 Form Standards

#### 5.9.5 Non-Residential and Mixed-Use Form Standards

### TABLE 5.9.5: NON-RESIDENTIAL AND MIXED-USE FORM STANDARDS

A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY			
STANDARD	CHARACTER DISTRICT				
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN	
<p>The following alternatives can be used alone or in combination as an alternative to the required front façade offsets:</p> <ul style="list-style-type: none"><li>• Changes in material that follows the same dimensional standards as the offset requirements;</li><li>• Columns or pilasters at least 8 inches deep, 8 inches wide, and 80 percent of the façade’s height; or</li><li>• Roofline changes that vertically align with a corresponding wall offset or change in façade color or material, including changes in roof planes and changes in the height of a parapet wall.</li></ul>	NA	A			
<p>The street-facing side façades of buildings shall be articulated with the same façade details as provided on the building’s front façade, or be screened from off-site views through fences, walls, or landscaping at least six feet in height.</p>	A		NA		
<p>Outbuildings located in front of other buildings within the same development shall include a consistent level of façade articulation and detail on all sides of the building as well as exterior materials that are compatible with the primary building in the development.</p>	A			NA	
 <p><i>Figure 5.9.5(E). Consistent Facade Treatments for Outbuildings</i></p>	 <p><i>Figure 5.9.5(F). Example of Façade Articulation</i></p>				
Component 5: Fenestration/Transparency					
<p>Minimum percentages of the street-facing façade area of the ground-level floor of buildings shall be occupied by windows or doorways that comply with the following minimum fenestration requirements.</p>	50		35		
<p>Minimum percentages of the street-facing façade area of floors above the ground-level floor of buildings, as measured from the grade to the underside of the eave, top of the parapet, or the story line denoting the second floor, as measured from the grade to the underside of the eave, top of the parapet, or the story line denoting the second floor, shall be occupied by windows or doorways that comply with the following minimum fenestration requirements:</p>	30		20		

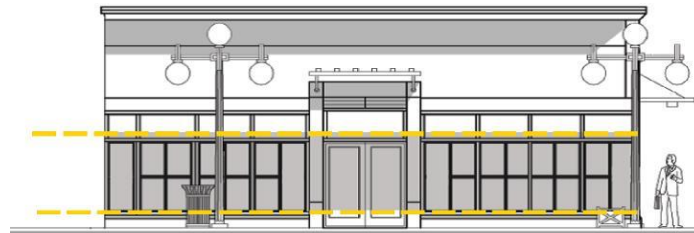
**TABLE 5.9.5: NON-RESIDENTIAL AND MIXED-USE FORM STANDARDS****A = STANDARD APPLIES****NA = STANDARD DOES NOT APPLY****STANDARD****CHARACTER DISTRICT**

DOWNTOWN

TRADITIONAL

COASTAL

SUBURBAN

*Figure 5.9.5(G). Example of First Floor Fenestration***Component 6: Roofs**

Any principal building greater than 10,000 square feet in area with a sloped roof, shall include two or more different sloping roof planes, each with a minimum pitch, as follows:

3:12 to 2:12

NA

Any principal building greater than 10,000 square feet in area with a flat roof shall be concealed by parapet walls that extend at least three feet above the roof level and have three-dimensional cornice treatments that project at least eight inches outward from the parapet façade plane.

A

NA

Alternative roof forms or pitches are allowed for small roof sections over porches, entryways, or similar features.

A

NA

All roof-based mechanical equipment, as well as vents, pipes, antennas, satellite dishes, and other roof penetrations (except chimneys), shall be located on the rear elevations or otherwise be configured, to the maximum extent practicable, to have a minimal visual impact as seen from the street.

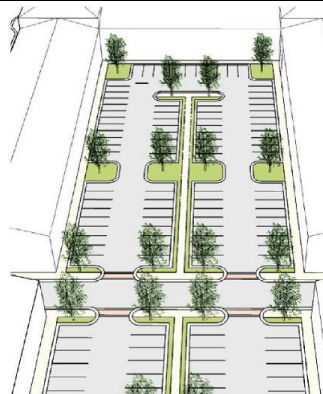
A

**Component 7: Parking Location**

Location of parking areas shall comply with the standards in Section 5.1.7.A, Locational standards.

Off-street surface parking lots with 300 or more spaces shall be organized into a series of parking bays surrounded by buildings, landscaping, or access ways designed to appear as streets.

A

*Figure 5.9.5(H). Example of Organization of a Large Parking Lot*

**Article 5: Development Standards****5.9 Form Standards****5.9.5 Non-Residential and Mixed-Use Form Standards****TABLE 5.9.5: NON-RESIDENTIAL AND MIXED-USE FORM STANDARDS**

A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY			
STANDARD	CHARACTER DISTRICT				
	DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN	
Component 8: Loading, Service, and Equipment Areas					
Loading, service, and equipment areas shall be located in a manner that minimizes their visibility from off-site areas.	A				
Outdoor storage areas shall be fully screened from adjacent streets and detached single-family dwellings.	A				
Areas associated with an outparcel building shall be screened through the use of structural elements and similar materials attached to and integrated with the building.	A				
Component 9: Form Standards for Large Retail Buildings					
Single-tenant buildings that have a gross floor area of 50,000 square feet or more and devote 60 percent or more of the total floor area to retail sales activities ("large retail buildings") shall also comply with the following sections of this table.					
Buildings shall have clearly defined, highly visible customer entrances featuring no less than three of the following: <ul style="list-style-type: none"><li>• Canopies or porticos above the entrance;</li><li>• Roof overhangs above the entrance;</li><li>• Entry recesses or projections;</li><li>• Arcades that are physically integrated with the entrance;</li><li>• Raised corniced parapets above the entrance;</li><li>• Gabled roof forms or arches above the entrance;</li><li>• Outdoor patios or plazas adjacent to the entrance;</li><li>• Display windows that are directly adjacent to the entrance; or</li><li>• Integral planters or wing walls that incorporate landscaped areas or seating areas.</li></ul>	A				
To reduce their perceived mass and scale, buildings shall incorporate two or more of the following features on each façade facing a street: <ul style="list-style-type: none"><li>• Variations in roof form and parapet heights;</li><li>• Pronounced wall offsets that are at least two feet deep;</li><li>• Distinct changes in texture and color of wall surfaces;</li><li>• Ground level arcades and second floor galleries or balconies;</li><li>• Protected and recessed entries; and</li><li>• Vertical accents or focal points.</li></ul>	A				
Side building walls that do not face a street and exceed 30 feet in length shall have façade-articulating elements such as columns and/or changes in plane, texture, or masonry pattern.	A				
Location of parking areas shall comply with the standards in Section 5.1.7.A, Locational Standards.					
Off-street surface parking lots with 300 or more spaces shall be organized into a series of parking bays surrounded by buildings, landscaping, or access ways designed to appear as streets.	A				

TABLE 5.9.5: NON-RESIDENTIAL AND MIXED-USE FORM STANDARDS


A = STANDARD APPLIES		NA = STANDARD DOES NOT APPLY			
STANDARD		CHARACTER DISTRICT			
		DOWNTOWN	TRADITIONAL	COASTAL	SUBURBAN
		<div><div>1. Distinctive entry feature</div><div>2. Street-facing facades articulated with offsets</div><div>3. Raised cornice parapets</div><div>4. Side walls not facing a street and over 30 feet long shall be articulated</div></div>			

Figure 5.9.5(I). Large Retail Building Entrances and Massing

## 5.10 NEIGHBORHOOD PROTECTION

### 5.10.1. PURPOSE AND INTENT

The purpose of these neighborhood protection standards is to provide a proper transition and ensure compatibility between single-family detached, single-family semi-detached, or two-family dwellings, vacant lands in the single-family residential zoning districts, and other more intense forms of development. More specifically, it is the intent of these standards to:

- A.** Provide effective transitions between single-family detached, single-family semi-detached, or two-family dwellings and vacant lands in the single-family residential zoning districts, and more intense uses;
- B.** Protect the character of existing neighborhoods consisting of primarily single-family detached, single-family semi-detached, or two-family dwellings from potentially-adverse impacts resulting from more intense and incompatible adjacent forms of development;
- C.** Limit the excessive consumption of available land through the utilization of large vegetated buffers in favor of development form and design treatments; and
- D.** Establish and maintain vibrant pedestrian-oriented areas where differing uses can operate in close proximity to one another.

### 5.10.2. APPLICABILITY

#### A. GENERAL

- (1)** Unless exempted in accordance with subsection B, below, these standards apply to:
  - (a)** New multi-family, non-residential, and mixed-use development when located on land adjacent to, or across a street or alley from, existing single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in the single-family residential zoning districts (SF-2, SF-4, SF-6, SF-10, and SF-T districts).
  - (b)** Any expansion or alteration of an existing multi-family, non-residential, or mixed-use development located on land abutting or across a local street or alley from existing single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential zoning district, where the expansion increases the development's floor area by 50 percent or more, or the alteration involves 50 percent or more of the development's floor area.
- (2)** For the purposes of this section:
  - (a)** "Multi-family" shall include the following:
    - (i)** Live/work dwellings;

- (ii) Multi-family dwellings; and
  - (iii) Townhouse dwellings.
- (b) “Non-residential development” shall include the following:
  - (i) Uses in the Commercial Uses and Industrial Uses classifications,
  - (ii) Uses in the Public, Civic, and Institutional Uses classification (except college or university; cultural facility, museum, or library; government office; school, boarding; school, elementary; school, secondary; school, vocational or trade; and religious institution); and
  - (iii) Uses in the Group Living Uses category.

## B. EXEMPTIONS

Uses exempt from these standards (see Figure 5.10.2, Applicability of Neighborhood Protection Standards) include the following:

- (1) Adaptive re-uses of buildings designated Historic Landmark;
- (2) Any building that obtains approval from the ARB where the ARB finds the building to be architecturally appropriate in the context of the neighborhood;
- (3) Multi-family, non-residential, and mixed-use development adjacent to a single-family detached, single-family semi-detached, or two-family dwellings located on a lot within a Downtown or Industrial district;
- (4) Multi-family, non-residential, and mixed-use development located on lots separated from single-family residential development by a street with four or more lanes or a right-of-way of greater than 100 feet; and
- (5) The following Community Service uses:
  - (a) College or university;
  - (b) Cultural facility, museum, or library;
  - (c) Government office;
  - (d) School, boarding;
  - (e) School, elementary;
  - (f) School, secondary;
  - (g) School, vocational or trade; and;
  - (h) Religious institution.

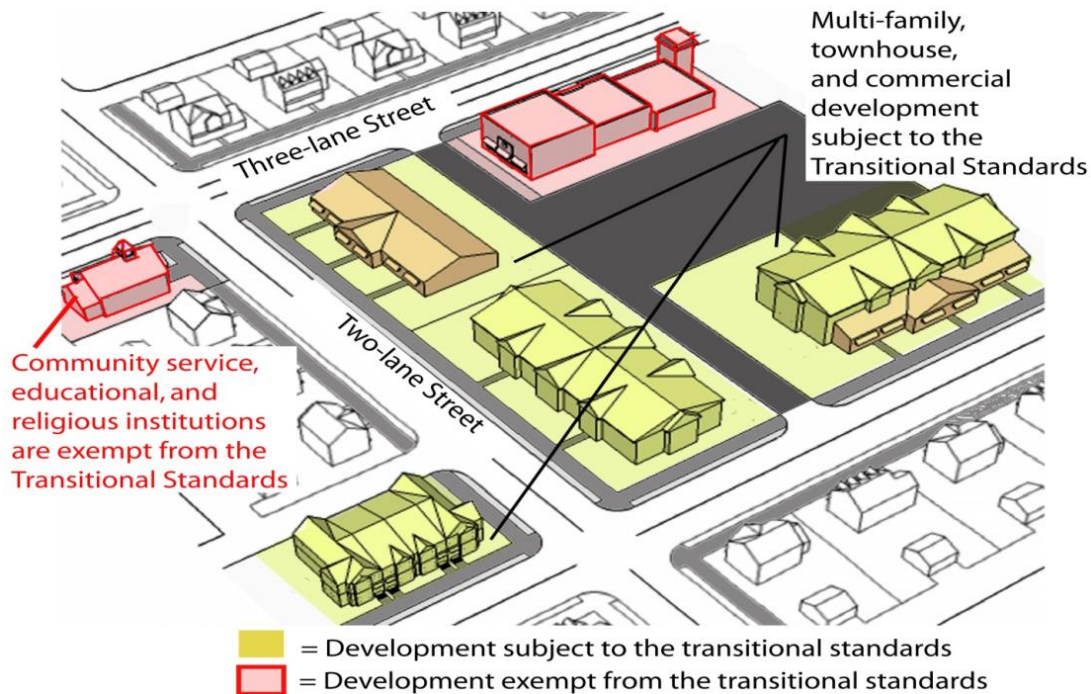


## Article 5: Development Standards

### 5.10 Neighborhood Protection

#### 5.10.3 Neighborhood Protection Standards

Figure 5.10.2: Applicability of Neighborhood Protection Standards



### C. TIMING OF REVIEW

Review for compliance with the standards of this section shall occur during review of a development application for either a conditional rezoning (see Section 2.4.4, Conditional Rezoning), planned development (see Section 2.4.5, Planned Development District), Conditional Use Permit (see Section 2.4.6, Conditional Use Permit), site plan (see Section 2.4.16, Major Site Plan, or Section 2.4.17, Minor Site Plan), or Zoning Certificate (see Section 2.4.12, Zoning Certificate), as appropriate.

### D. CONFLICT

In the case of conflict between these neighborhood protection standards and other standards in this Ordinance, these neighborhood protection standards shall control, unless the other standard is in a Pedestrian Commercial Overlay zoning district.

## 5.10.3. NEIGHBORHOOD PROTECTION STANDARDS

### A. BUILDING HEIGHT/SETBACKS

- (1) Building setbacks shall be consistent with other buildings on the block face and across the street to maintain a consistent plane or edge of buildings along public frontages, or if the majority of the land on the block face is vacant the setbacks for the zoning districts in which the buildings are located. Building setbacks shall vary no more than ten percent of adjacent buildings setbacks.

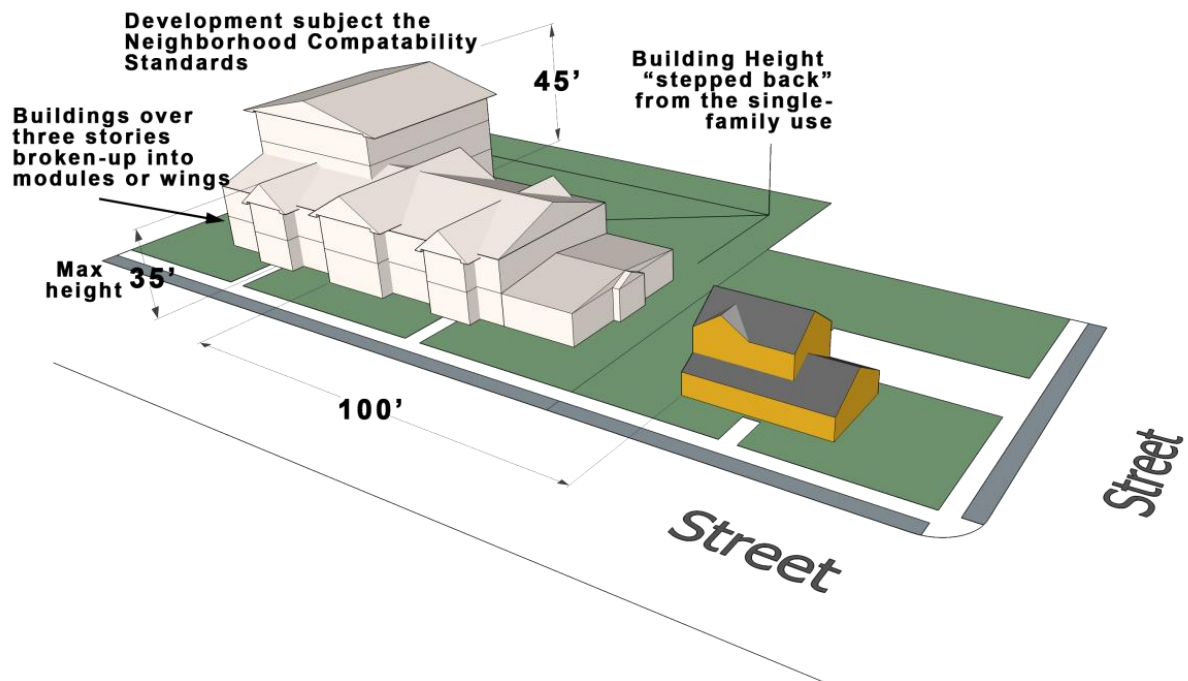


- (2) Building height shall not exceed the maximum height established in Table 5.10.3(A), Maximum Height in Neighborhood Protection Areas.

<b>TABLE 5.10.3(A): MAXIMUM HEIGHT IN NEIGHBORHOOD PROTECTION AREAS</b>	
<b>DISTANCE FROM SINGLE-FAMILY DETACHED, SINGLE-FAMILY SEMI-DETACHED, AND TWO-FAMILY DWELLING [1]</b>	<b>MAXIMUM HEIGHT</b>
Less than 100 feet	Lessor of: 3 stories or 35 feet
100 to 150 feet	Lessor of: 4 stories or 45 feet
<b>NOTES:</b> [1] All minimum zoning district setbacks shall apply.	

- (3) Buildings over three stories in height shall be broken up into modules or wings with the smaller and shorter portions of the structure located adjacent to the single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district (see Figure 5.10.3(A), Building Height Modulation).

Figure 5.10.3(A): Building Height Modulation



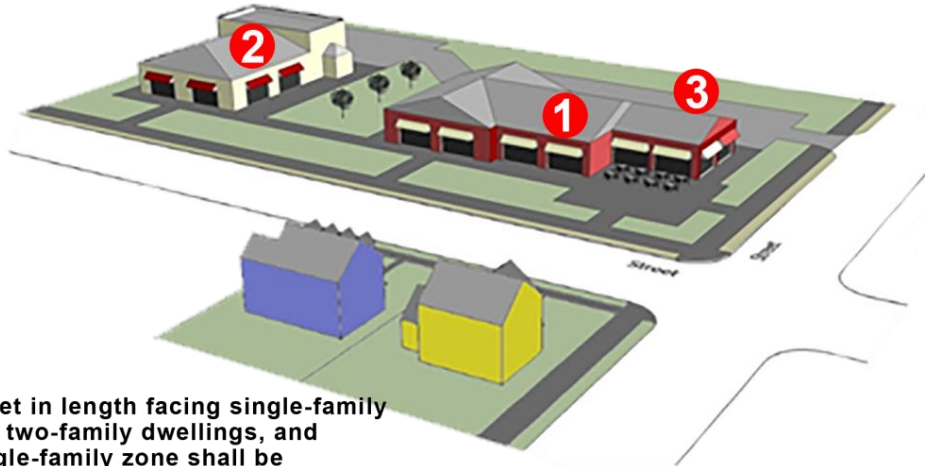
## B. BUILDING ORIENTATION

Buildings shall be oriented towards the street from which they derive their street address.

## C. BUILDING FORM

- (1) Buildings shall:
  - (a) Use a similar roof type (pitch, form, and materials) to adjacent single-family detached, single-family semi-detached, or two-family dwellings in terms of slope and arrangement to prevent abrupt changes in roof form;
  - (b) If within 100 feet of a lot on which a single-family detached, single-family semi-detached, or two-family dwelling is located, or vacant lands in a single-family residential district, maintain a pitched roof;
  - (c) Configure all roof-mounted equipment to screen its view from adjacent streets and single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district;
  - (d) Use similarly sized and patterned (depth, distance, and form) wall offsets and other building articulations found on adjacent single-family detached, single-family semi-detached, and two-family dwellings; and
  - (e) Ensure porches, balconies, and outdoor activity areas do not face adjacent single-family detached, single-family semi-detached, and two-family dwellings, and vacant lands in a single-family residential district.
- (2) Retail building facades that face single-family detached, single-family semi-detached, and two-family dwellings and vacant lands in a single-family residential district shall appear as a series of discrete storefronts, with no single storefront occupying more than 50 percent of the total facade width of the building (see Figure 5.10.3(B), Compatible Building Massing).

Figure 5.10.3(B), Compatible Building Massing



1. Buildings over 50 feet in length facing single-family detached dwellings, two-family dwellings, and vacant land in a single-family zone shall be designed to appear as a series of discrete storefronts.
2. Use of similarly-sized and patterned wall off-sets and building articulations found on adjacent single-family and two-family detached dwellings.
3. Pitched roof within 100 feet of single-family dwellings, two-family dwellings, and vacant land in single-family districts.

#### D. TRANSPARENCY

Building facades across the street from single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district, shall comply with the standards in Table 5.10.3(B), Transparency Standards.

TABLE 5.10.3(B): TRANSPARENCY STANDARDS	
BUILDING STORY	MINIMUM FAÇADE AREA TO BE TRANSPARENT (PERCENT) [1] [2] [3]
1 <sup>st</sup> Floor	35
2 <sup>nd</sup> Floor	20
3 <sup>rd</sup> or Higher Floor	20
<b>NOTES:</b> [1] The facade area shall be measured from the grade to the underside of the eaves, or from story line to story line on upper building stories. [2] Facades abutting sidewalks, plazas, gathering areas, or other pedestrian areas shall incorporate transparent features. [3] The first two feet of facade area closest to the grade are not required to be transparent and shall be excluded from the facade area calculation	

#### E. MULTI-BUILDING PLACEMENT

For multi-building development that includes varying use and/or development intensities in different buildings, the development shall locate buildings with the least intense use and/or development nearest to the abutting single-family

detached, single-family semi-detached, or two family dwellings, or vacant lands in a single-family residential district.

## F. OFF-STREET PARKING

- (1) The total amount of off-street parking shall not exceed 1.1 times the required minimum specified in Table 5.1.7(D), Minimum Number of Off-street Parking Spaces, and may be reduced through an alternative parking plan (see Section 5.1.7.C, Alternative Parking) that demonstrates such reduction will not have an adverse impact on the adjacent single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district.
- (2) When required, off-street parking shall be established in one or more of the following locations, listed in priority order in Table 5.10.3(C), Priority Order for Location of Off-Street Parking.

TABLE 5.10.3(C): PRIORITY ORDER FOR LOCATION OF OFF-STREET PARKING	
PRIORITY ORDER	
1.	Adjacent to off-street parking lots serving non-residential development on abutting lots
2.	Adjacent to lot lines abutting non-residential development
3.	Adjacent to lot lines abutting mixed-use development
4.	Within a lot's corner side yard
5.	Behind the building
6.	In front of the building
7.	Adjacent to lot lines abutting single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district

- (3) Off-street parking areas shall be screened with a Type B buffer as per Section 5.3.4, Perimeter Buffer Standards.
- (4) The facade of any parking structure facing adjacent single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district, shall be configured to appear as an articulated or landscaped building wall, to soften its visual impact.

## G. OTHER SITE FEATURES

### (1) Loading, Service, and Refuse Collection Areas

Loading, service, and refuse collection areas shall be:

- (a) Located behind or to the sides of buildings away from adjacent single-family detached, single-family semi-detached, or two family dwellings, or vacant lands in a single-family residential district, and screened with

walls and/or landscaping, and provided with access that is integrated with parking areas and the vehicular circulation network; or

- (b) Incorporated into the overall site so that the impacts of these functions are fully contained within an enclosure or are otherwise out of view from adjacent single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district.

**(2) Drive-Through Facilities**

- (a) In no instance shall a pick-up window be located on a building façade that faces a single-family detached, single-family semi-detached, or two-family dwelling, or adjacent vacant lands in a single-family residential district.
- (b) Order boxes associated with a drive through or pick-up window shall be at least 100 feet from a lot containing a single-family detached, single-family semi-detached, or two-family dwelling, or vacant lands in a single-family residential district.

**(3) Exterior Lighting**

Exterior lighting shall have a maximum height of 15 feet and illumination that does not exceed 0.5 foot candles at the lot line, if within 50 feet of a lot containing a single-family detached, single-family semi-detached, or two-family dwelling, or vacant lands in a single-family residential district. Exterior lighting shall have a maximum height of 18 feet if within between 50 and 150 feet of such lot or lands (and illumination that does not exceed 0.5 foot candles at the lot line).

**(4) Signage Standards**

- (a) To the maximum extent practicable, signage shall be located a minimum of 50 feet from lot lines shared with a single-family detached, single-family semi-detached, or two-family dwelling, or vacant lands in a single-family residential district.
- (b) Within 50 feet of lot lines shared with a single-family detached, single-family semi-detached, or two-family dwelling, or vacant lands in a single-family residential district, the maximum sign copy area for signs shall be reduced by 25 percent.
- (c) Signage within 20 feet of a lot line shared with a single-family detached, single-family semi-detached, or two-family dwelling, or vacant lands in a single-family residential district, shall be limited to ground signage.

**(5) Open Space Set-Asides**

- (d) Open space set-asides shall be located between a proposed development and an adjacent single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district, to the maximum extent practicable.

- (e) Outdoor recreation features such as swimming pools, tennis courts, playgrounds, and similar features shall be at least 50 feet from any lot line shared with a single-family detached, single-family semi-detached, or two-family dwelling, or vacant lands in a single-family residential district.

**(6) Natural Features**

Natural features such as existing vegetation, streams, wetlands, and other such features shall be used as transitions, where possible. Where such natural features are protected and preserved as transitions, pedestrian connections to adjoining uses are strongly encouraged.

**(7) Utilities**

All utilities serving individual buildings or developments shall be located underground.

**H. OPERATIONAL STANDARDS**

Development subject to these standards shall:

- (1) Prohibit outdoor dining or other outdoor activities within 150 feet of a single-family detached, single-family semi-detached, or two-family dwelling, or vacant lands in a single-family residential district, except where:
  - (a) There is a building between the outdoor activities and the single-family detached, single-family semi-detached, or two-family dwelling, or vacant lands in a single-family residential district; or
  - (b) The outdoor dining is closed by 9:00 p.m. unless later hours are approved by Conditional Use Permit.
- (2) Limit trash collection or other service functions to only between the hours of 7:00 a.m. and 7:00 p.m.; and
- (3) Extinguish amplified music, singing, or other forms of noise audible at lot lines shared with single-family detached, single-family semi-detached, or two-family dwellings, or vacant lands in a single-family residential district, after 10:00 p.m. Sunday through Thursday nights, and 12:00 a.m. Friday and Saturday nights.

## 5.12 RESILIENCE QUOTIENT

### 5.12.1. PURPOSE

The City of Norfolk is committed to being the coastal community of the future, with the capacity to endure and quickly recover from climatic and environmental shocks and stresses and bounce back quickly and stronger. All proposed development shall be reviewed to identify how it will enhance resilience for both the development specifically and the city generally. This section is intended to ensure development practices that promote resiliency in the following ways:

- A.** Reduce risks from flooding;
- B.** Conserve energy;
- C.** Promote the use of alternative energy;
- D.** Conserve water resources;
- E.** Protect water quality;
- F.** Manage stormwater;
- G.** Support walkable, mixed-use development in appropriate places;
- H.** Support multiple modes of mobility;
- I.** Promote a healthy landscape;
- J.** Support urban agriculture; and
- K.** Promote healthy and safe lifestyles

### 5.12.2. APPLICABILITY

Unless exempted by this section, all development shall comply with the resilience quotient standards of this section.

#### **A. EXEMPTED DEVELOPMENT**

The following development is exempted from the standards of this section:

- (1)** New buildings or redevelopment that have achieved or will achieve LEED requirements necessary to receive certification from the U.S. Green Building Council at the gold level or above;
- (2)** Renovation or rehabilitation of a building constructed prior to \_\_\_\_\_ *[insert effective date of this Ordinance]* when the cost of the work is less than 50 percent of the appraised value of the development prior to the renovation or rehabilitation; and



- (3) Expansion of a building constructed prior to        *[insert effective date of this Ordinance]* whose expansion is less than 50 percent of the gross floor area of the building.
- (4) Historic or architecturally significant buildings which meet at least one of the following criteria:
  - (a) Individually listed on the US Department of the Interior's National Register of Historic Places; or
  - (b) Individually listed in the Virginia Landmarks Register; or
  - (c) Noted as a contributing structure in a district listed within the US Department of the Interior's National Register of Historic Places or the Virginia Landmarks Register or a local historic district designated in accordance with this Ordinance; or
  - (d) Designated as a Norfolk Historic Landmark in accordance with Section 3.9.20, Historic Landmark.

### 5.12.3. TIMING OF REVIEW

Review for compliance with the standards of this section shall occur during review of a development application for either a conditional rezoning (see Section 2.4.4, Conditional Rezoning), planned development (see Section 2.4.5, Planned Development District), conditional use (see Section 2.4.6, Conditional Use Permit), site plan (see Section 2.4.16, Major Site Plan, or Section 2.4.17, Minor Site Plan), or Zoning Certificate (see Section 2.4.12, Zoning Certificate), as appropriate.

### 5.12.4. COMPLIANCE WITH RESILIENCE QUOTIENT STANDARDS

#### A. GENERALLY

Unless an alternative option is specified below, all new development and redevelopment to which the resilience quotient applies shall undergo site plan review (see Section 2.4.16, Major Site Plan, or Section 2.4.17, Minor Site Plan) during which the following conditions shall be reviewed and addressed:

- (1) Reducing risks from flooding;
- (2) Managing stormwater;
- (3) Promoting energy resilience including the use of alternative energy;
- (4) Conserving water resources and protecting water quality;
- (5) Supporting multiple modes of mobility, specifically including walkability and bikeability;
- (6) Developing in a manner that promotes healthy and safe environments and lifestyles; and
- (7) Providing inclusionary dwelling units within mixed-income residential or mixed-use developments.

**B. DOCUMENTATION REQUIRED**

Applicants shall provide documentation of techniques that will be utilized to satisfy the requirements of this section at the time of submittal of a development application. Documentation for items that may not be visually verified as part of an inspection may be provided in the form of invoices, receipts, or delivery confirmation for the items in question.

**C. INSTALLATION AND MAINTENANCE OF RESILIENCE QUOTIENT DEVELOPMENT ACTIVITIES REQUIRED**

All Resilient Development Activities approved as a part of a development shall be installed, maintained and perpetuated. Failure to do so shall be a violation of this Ordinance and subject to the remedies and penalties prescribed in Article 7, Enforcement.

**D. DETERMINATION OF COMPLIANCE**

The ZA shall determine whether the Resilient Development Activities proposed meet the requirements of this Ordinance. In carrying out this responsibility, the ZA may seek advice and counsel from other City staff and outside subject matter experts prior to issuing a determination. To the extent practicable, all determinations shall be rendered in writing stating the reasons therefor.

**5.12.5. RESILIENCE QUOTIENT COMPLIANCE FOR SINGLE FAMILY DEVELOPMENT****A. APPLICABILITY**

Any proposed development that includes no more than two single family detached dwellings not part of a common plan of development may elect to comply with the resilience quotient standards for single family development in this subsection in lieu of the site plan review process established in Section 5.12.4, Compliance with Resilience Quotient Standards, above.

**(1) Risk Reduction**

The lowest habitable floor and all significant electrical and mechanical equipment shall be elevated at least 16 inches above the highest adjacent grade unless a greater elevation is required by the provisions of the FPCH-O district.

**(2) Stormwater Management**

100% of the roof drainage shall be intercepted and detained on site within a system providing no less than 400 gallons of total storage capacity; these requirements shall be memorialized in an agreement in lieu of a plan for stormwater.

**(3) Energy Resilience**

The electrical systems of the dwelling shall be designed with pre-installed wiring and connections to allow use of a generator during electricity outages and/or connection of solar, wind, or other locally-generated electricity source.

The ZA, for good cause shown, may authorize in writing minor deviations from the above requirements that achieve the same resilience goals to an equal or greater extent.

**5.12.6. RESILIENCE QUOTIENT COMPLIANCE FOR MULTIPLE DWELLING UNIT RESIDENTIAL DEVELOPMENT**

**A. APPLICABILITY**

The following types of development shall comply with the resilience quotient standards of this subsection:

- (1)** Any proposed residential development other than one or two single family dwellings not part of a common plan of development; or
- (2)** Any proposed development that includes one or more dwelling units as part of a mixed-use development. In this case, the standards of this subsection shall apply only to the residential portion of the development.

**B. GENERALLY**

Any residential development other than one or two single family dwellings not part of a common plan of development shall fully address all of the factors in Section 5.12.4, Compliance with Resilience Quotient Standards, during site plan review and shall comply with the following standards in so doing:

- (1)** The lowest habitable floor and all significant electrical and mechanical equipment shall be elevated at least 16 inches above the highest adjacent grade unless a greater elevation is required by the provisions of the FPCH-O district.
- (2)** 100% of the drainage from impervious surfaces on the site shall be captured and retained on site with sufficient storage to keep the first 1.25 inches of rainwater from an individual rain event on site without discharging onto neighboring properties or rights-of-way unless a regional stormwater management system is available to the development and the specific discharges into it have been approved by the Director of Public Works.

**C. ALTERNATIVE MINIMUM REQUIREMENTS**

Any multiple dwelling unit residential development may elect to comply with the resilience quotient standards for residential development in this subsection in lieu of the portion of the site plan review process established in Section 5.12.4, Compliance with Resilience Quotient Standards, above. The point system provides options within each of three components and each development shall

achieve a minimum number of points from the menu of options shown in Table 5.12.6, Resilient Point System for Residential Development, based on the number of dwelling units within the development as shown below.

- (1) 1 to 5 units: 4 points total, no less than 1 point per component.
- (2) 6 to 29 units: 5 points total, no less than 1.5 points per component.
- (3) 30 to 89 units: 6 points total, no less than 1.5 points per component.
- (4) 90 to 199 units: 8 points total, no less than 2 points per component.
- (5) 200 or more units: 10 points total, no less than 2 points per component.

Any actions taken to meet the general requirements of Section 5.12.6.B for which points are available shall be included when tabulating the number of points achieved within each component.

<b>TABLE 5.12.6: RESILIENT POINT SYSTEM FOR RESIDENTIAL DEVELOPMENT</b>	
<b>Resilient Development Activity</b>	<b>Points Earned</b>
<b>Component 1: Risk Reduction</b>	
Construct building to meet 110-mile wind load design requirements of the IRC	2.00
Elevate the ground story finished floor and all significant electrical and mechanical equipment no less than 3 feet above highest adjacent grade	1.00, plus 0.50 per ft. above 3 ft.
Construct an impact-resistant (hail, tree damage) roof	0.50
Install impact (hurricane or wind) resistant windows	0.50
Install operable storm shutters	0.50
Establish operating procedures for how the project will handle loss of off-site or grid power, transition to a backup source of power, and transition back to normal operation	0.50
<b>Component 2: Stormwater Management</b>	
Install a "green roof" on at least 50 percent of the total roof area (25 percent for renovated buildings) and only plant materials permitted in Section 5.2, Landscaping Standards	2.00
Provide rain gardens, street-side swales, soil and turf management or other appropriate storm water infiltration system(s) to capture and infiltrate a minimum of 25 percent of site-generated stormwater	1.00
Use pervious or grass paving systems on at least 50% of parking lot and driveway area in the development	1.00
Provide a fenced, centrally-located community garden space (which may be located as a rooftop garden) for residents and for urban gardening purposes at a ratio of 50 square feet per residential dwelling unit	1.00

<b>TABLE 5.12.6: RESILIENT POINT SYSTEM FOR RESIDENTIAL DEVELOPMENT</b>	
<b>Resilient Development Activity</b>	<b>Points Earned</b>
Retain at least 20 percent of existing pre-development natural, non-exotic vegetation	0.75
Provide a percentage of open space greater than that required in Table 5.5.4(A), Required Open Space Set-Asides	0.50 per additional 5% preserved
For new tree plantings, enhance tree pits with specially engineered soils and native plants to absorb and filter runoff	0.25
Preserve large, non-exotic trees on site (large tree defined as 20 feet or greater in height and 24 inches or greater DBH)	0.10 per tree preserved
<b>Component 3: Energy Resilience</b>	
Generate no less than 75% of the electricity expected to be used by the development from on-site solar and/or wind energy sources	3.00
Generate no less than 50% of the electricity expected to be used by the development from on-site solar and/or wind energy sources	2.00
Install a “cool roof” on at least 50 percent of the total roof area of the development	1.50
Generate no less than 25% of the electricity expected to be used by the development from on-site solar and/or wind energy sources	1.00
Generate no less than 25% of the electricity needed expected to be used by the development from on-site solar and/or wind energy sources	1.00
Install a geothermal energy heating & cooling system serving all residential units and common areas	1.00
Install a conditioned crawlspace under each primary structure	1.00
Install “green walls” on a minimum of 50 percent of the primary building’s walls	1.00
Adopt an energy efficient site lighting budget (based on the International Dark Sky Association’s designations for allowable lumens per square foot of specified use or type of hardscape)	1.00
Equip the project with at least one alternative, independent source of electricity supply so that the project is capable of fully operating if a primary source of power experiences interruption	1.00
Pre-wire all dwelling units to accept power provided by on-site solar panels and/or wind turbines	1.00
Install a 20+ SEER HVAC system in each dwelling unit	1.00
Re-use or repurpose an historic building that is listed on a national, state, or local register, or at least 75% (based on surface area) of existing historic structures	1.00
Install a 16-19 SEER HVAC system in each dwelling unit	0.50
Install multi-room mini-split heating and cooling systems in each dwelling unit	0.50
Install a solar or tank-less water heating system in each dwelling unit	0.50

**TABLE 5.12.6: RESILIENT POINT SYSTEM FOR RESIDENTIAL DEVELOPMENT**

<b>Resilient Development Activity</b>	<b>Points Earned</b>
Install no fewer than 2 operable windows on no fewer than two exterior walls in each dwelling unit	0.50
Install a generator for power generation to keep critical functions (refrigerator, freezer, basic lighting, healthcare appliances, etc.) working in the event of power failure	0.50
Provide shade, open-grid pervious pavement, or solar-reflective paving on 50% of total area of roads, sidewalks, and parking areas in the development	0.50
Provide electric vehicle (EV) level 3 charging stations, located in a parking structure or off-street parking lot, that are made available for use by residents	0.50 for every two stations
Plant vegetation so that 50% of the eastern and western building facades are shaded at noontime on the summer solstice within 10 years of planting	0.50
Use vegetation or vegetated structures to shade each dwelling's HVAC unit	0.25
Automatically turn off all outdoor signage and lighting between the hours of 10:00 p.m. and 7:00 a.m. except for security lighting	0.25
Provide a minimum of five percent of required automobile parking spaces that are signed and reserved for hybrid/electric/low energy vehicles in preferred locations near primary building entrances	0.25
Provide electric vehicle (EV) level 2 charging stations, located in a parking structure or off-street parking lot, that are made available for use by residents	0.25 for every two stations
Re-use or repurpose an existing non-historic building, or at least 75% (based on surface area) of existing structures	0.25
Install highly-reflective blinds/shades to reduce solar gain	0.25

### **5.12.7. RESILIENCE QUOTIENT COMPLIANCE FOR NON-RESIDENTIAL DEVELOPMENT**

#### **A. APPLICABILITY**

Any proposed development that includes non-residential development. In the case of mixed-use development, the standards of this subsection shall only apply to the non-residential portion of the development.

#### **B. GENERALLY**

Any non-residential development to which the resilience quotient is applicable shall fully address all of the factors in Section 5.12.4, Compliance with Resilience Quotient Standards, during site plan review and shall comply with the following standards in so doing:

## Article 5: Development Standards

### 5.12 Resilience Quotient

#### 5.12.7 Resilience Quotient Compliance for Non-Residential Development

- (1) The lowest habitable floor and all significant electrical and mechanical equipment shall be elevated at least 8 inches above the highest adjacent grade unless a greater elevation is required by the provisions of the FPCH-O district.
- (2) 100% of the drainage from impervious surfaces on the site shall be captured and retained on site with sufficient storage to keep the first 1.25 inches of rainwater from an individual rain event on site without discharging onto neighboring properties or rights-of-way unless a regional stormwater management system is available to the development and the specific discharges into it have been approved by the Director of Public Works.

### C. ALTERNATIVE MINIMUM REQUIREMENTS

Any non-residential development may elect to comply with the resilience quotient standards for non-residential development in this subsection in lieu of the portion of the site plan review process established in Section 5.12.4, Compliance with Resilience Quotient Standards, above. The point system provides options within each of three components and each development shall achieve a minimum number of points from the menu of options shown in Table 5.12.7, Resilient Point System for Non-Residential Development.

- (1) Less than 10,000 sq. ft.: 3 points total, no less than 1 point per component.
- (2) 10,000 to 25,000 sq. ft.: 4 points total, no less than 1.5 points per component.
- (3) 25,000 to 50,000 sq. ft.: 6 points total, no less than 1.5 points per component.
- (4) Above 50,000 sq. ft.: 10 points total, no less than 2 points per component.

Any actions taken to meet the general requirements of Section 5.12.7.B, Generally, for which points are available shall be included when tabulating the number of points achieved within each component.

TABLE 5.12.7: RESILIENT POINT SYSTEM FOR NON-RESIDENTIAL DEVELOPMENT	
Resilient Development Activity	Points Earned
Component 1: Risk Reduction	
Construct building to meet 110-mile wind load design requirements of the IRC	2.00
Equip the project with at least one alternative, independent source of electricity supply so that the project is fully capable of operating if a primary source of power experiences an interruption	1.50
If the project involves a critical facility that is intended to remain operational in the event of a flood, or whose function is critical for post-flood recovery, design the facility to be protected and operable	1.00



**TABLE 5.12.7: RESILIENT POINT SYSTEM FOR NON-RESIDENTIAL DEVELOPMENT**

<b>Resilient Development Activity</b>	<b>Points Earned</b>
at the water levels represented by a 0.2% annual chance (500-year) flood	
Elevate the ground story finished floor and all significant electrical and mechanical equipment no less than 3 feet above highest adjacent grade	1.00, plus 0.50 per ft. above 3 ft.
Install a generator for power generation in the event of power failure sufficient to keep critical operations functional	0.50
Establish operating procedures for how the project will handle loss of off-site or grid power, transition to a backup source of power, and transition back to normal operation	0.50
<b>Component 2: Stormwater Management</b>	
Install a “green roof” on at least 50 percent of the total roof area (25 percent for renovated buildings) and only plant materials permitted in Section 5.2, Landscaping Standards	2.00
Provide rain gardens, street-side swales, turf and soil management or other appropriate storm water infiltration system(s) to capture and infiltrate a minimum of 25 percent of site generated stormwater	1.00
Use pervious pavement on at least 50% of parking lot and driveway area in development	1.00
Retain at least 20 percent of existing pre-development natural, non-exotic vegetation	0.75
Provide a percentage of open space greater than that required in Table 5.5.4.A: Required Open Space Set-Asides	0.50 per additional 5% preserved
For new tree plantings, enhance tree pits with specially engineered soils and native plants to absorb and filter runoff	0.25
Preserve large, non-exotic trees on site (large tree defined as 20 feet or greater in height and 24 inches or greater DBH)	0.10 per tree preserved
<b>Component 3: Energy Resilience</b>	
Generate no less than 75% of the electricity expected to be used by the development from solar and/or wind energy sources	3.00
Generate no less than 50% of the electricity expected to be used by the development from solar and/or wind energy sources	2.00
Install a “cool roof” on at least 50 percent of the total roof area of the development	1.50
Generate no less than 25% of the electricity expected to be used by the development from solar and/or wind energy sources	1.00
Install a geothermal heating and cooling system serving all parts of the project	1.00
Install a conditioned crawlspace under each primary structure	1.00
Install “green walls” on a minimum of 50 percent of the primary building’s walls	1.00

**TABLE 5.12.7: RESILIENT POINT SYSTEM FOR NON-RESIDENTIAL DEVELOPMENT**

<b>Resilient Development Activity</b>	<b>Points Earned</b>
Install 20+ SEER HVAC systems throughout the project	1.00
Re-use or repurpose an historic building that is listed on a national, state, or local register, or at least 75% (based on surface area) of existing historic structures	1.00
Preserve or provide trees on the site which will within 10 years growing time will provide tree canopy over no less than 50% of the total site	1.00
Install 16-19 SEER HVAC systems throughout the project	0.50
Install mini-split heating and cooling systems throughout the project	0.50
Install solar or tank-less water heating systems throughout	0.50
Provide shade, open-grid pervious pavement, or solar-reflective paving on 50% of total area of roads, sidewalks, and parking areas in the development	0.50
Provide electric vehicle (EV) level 3 charging stations, located in a parking structure or off-street parking lot, that are made available for use by users of the project	0.50 for every two stations
Plant vegetation so that 50% of the eastern and western building facades are shaded at noontime on the summer solstice within 10 years of planting	0.50
Orient buildings within 20 percent of east-west axis for maximum solar exposure	0.50
Provide operable windows on at least 2 façades on each floor which provide flow-through ventilation	0.25
Use vegetation or vegetated structures to shade HVAC units	0.25
Automatically turn off all outdoor signage and lighting between the hours of 10:00 p.m. and 7:00 a.m. except for security lighting	0.25
Provide a minimum of five percent of required automobile parking spaces that are signed and reserved for carpools, hybrid, electric, and low energy vehicles in preferred locations near primary building entrances	0.25
Provide electric vehicle (EV) level 2 charging stations, located in a parking structure or off-street parking lot, that are made available for use by users of the project	0.25 for every two stations
Re-use or repurpose an existing non-historic building, or at least 75% (based on surface area) of existing structures	0.25
Install highly-reflective blinds/shades to reduce solar gain	0.25
Provide skylights in an amount necessary to ensure natural lighting is provided to at least 25 percent of the habitable rooms in the structure	0.25, plus

### **5.12.8. MINOR DEVIATION FROM RESILIENCE QUOTIENT COMPLIANCE**

#### **A. APPLICABILITY**

Any proposed development subject to the resilience quotient provisions and electing to utilize the point system in lieu of having the resilience quotient be fully reviewed and implemented as a part of the site plan review process may propose minor deviations or alternative Resilient Development Activities for consideration.

#### **B. ZONING ADMINISTRATOR AUTHORITY**

- (1)** The ZA, for good cause shown, may authorize in writing minor deviations from the resilient quotient requirements specified in the sections above provided that those resilience goals are still achieved to an equal or greater extent.
- (2)** Any proposed deviation determined by the ZA to be more than a minor deviation shall not be approved by the ZA and the development shall, instead, utilize the site plan review process for a complete review of the resilience quotient factors contained in Section 5.12.4, Compliance with Resilience Quotient Standards.
- (3)** The ZA shall review any alternative Resilient Development Activities that may be proposed and, if determined in writing that the alternative Resilient Development Activities will achieve the same resilience goals to an equal or greater extent, the ZA will assign point value(s) to the alternative Activities. The ZA shall maintain an online log of all approved alternative Resilient Development Activities and the point value assigned.